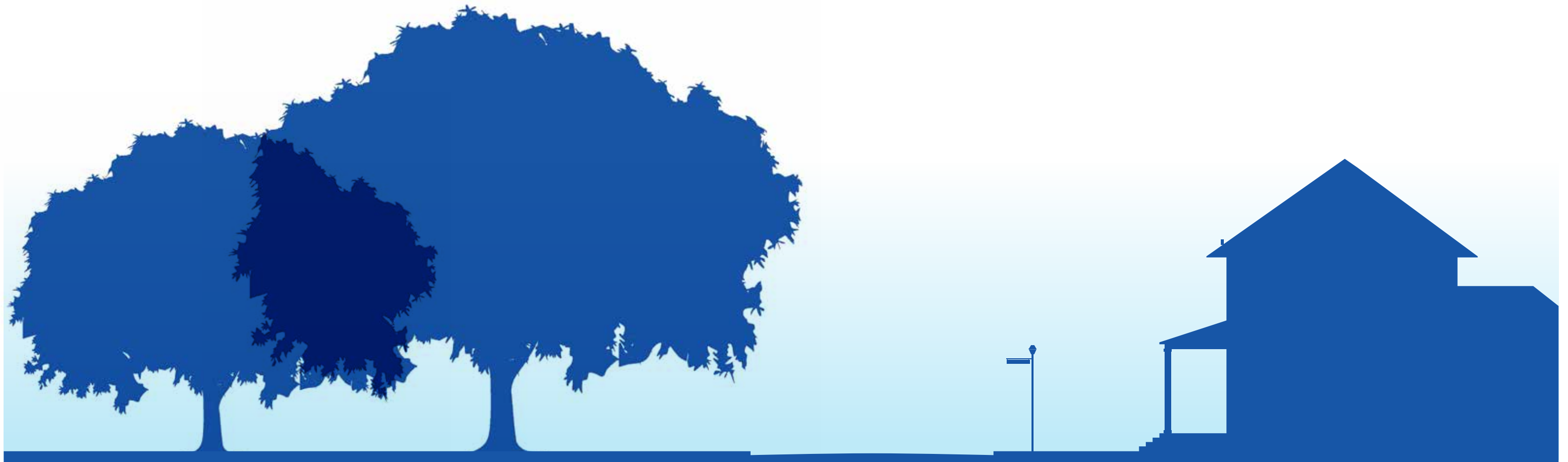


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Lot Types and Standards

# Lot Type TH

## Town House

### Typical Lot Dimensions:

Interior Lot:	26' x 125'	3,250 S.F.
Corner Lot Street:	45' x 125'	5,625 S.F.
Corner Lot Interior/Alley:	40' x 125'	5,000 S.F.

### Typical Buildable Area:

Interior Lot:	26' x 90'	2,340 S.F.
Corner Lot Street:	30' x 90'	2,700 S.F.
Corner Lot Interior/Alley:	30' x 90'	2,700 S.F.

**Garage Access:** Rear Loaded

### Setbacks:

Front:	15'
	80% Required Building Frontage
Rear:	5' Build-to-line or 20' Setback
Side:	
Interior Lot:	0'
Corner Lot Street:	15' Primary Facade 10' Articulated Facade
Corner Lot Interior:	10' Primary Facade 5' Articulated Facade
Porch/Stoop:	7.5'

## Lot Standards

**Stoop:** Less than or equal to 8 FT. width

**Porch:** Greater than 8 FT. width, minimum 7 FT. depth

**Corner Lot Articulation:** A total of up to 50% of the side yard primary facade length can extend to the Articulated Facade Side Setback. There may be no continuous portion of the 50% facade wider than 25 FT. in the articulation zone.

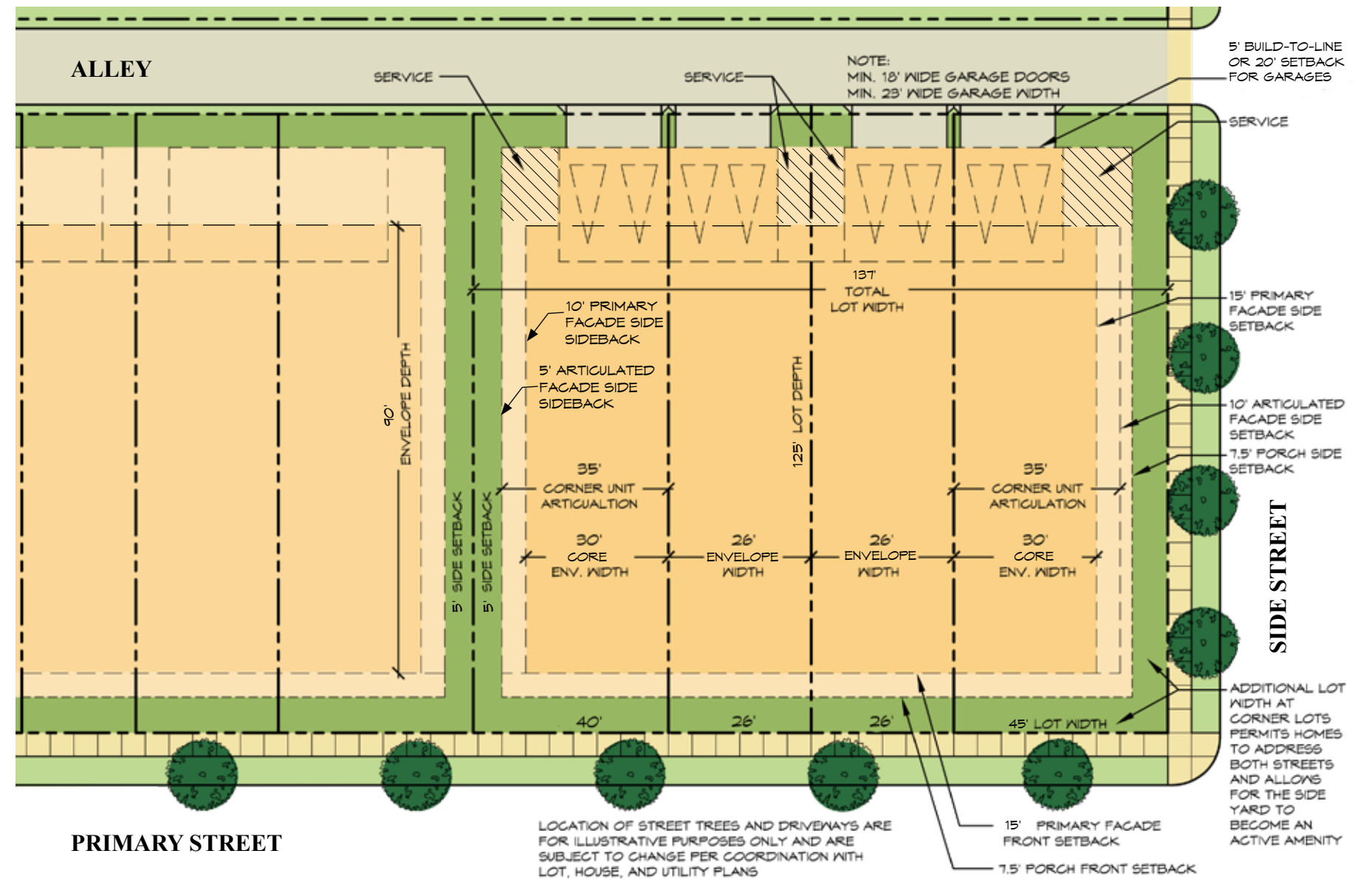
**Service Zone/Refuse:** Screened/fenced space required for refuse containers. Container storage located to the side of the garage. Utility meters and AC equipment shall be located a minimum of 10 FT. beyond the front facade face and screened or fenced.

**Garage Access:** Vehicles shall enter from rear alley. No exceptions.

**Garage Rear Setbacks:** 5 FT. Build-to-line or 20 FT. setback

**Lead Walks:** A private 3' wide minimum lead walk will connect the primary front door of the home to the public sidewalk.

**Minimum Home Size:** 1,750 S.F.



## Character Imagery



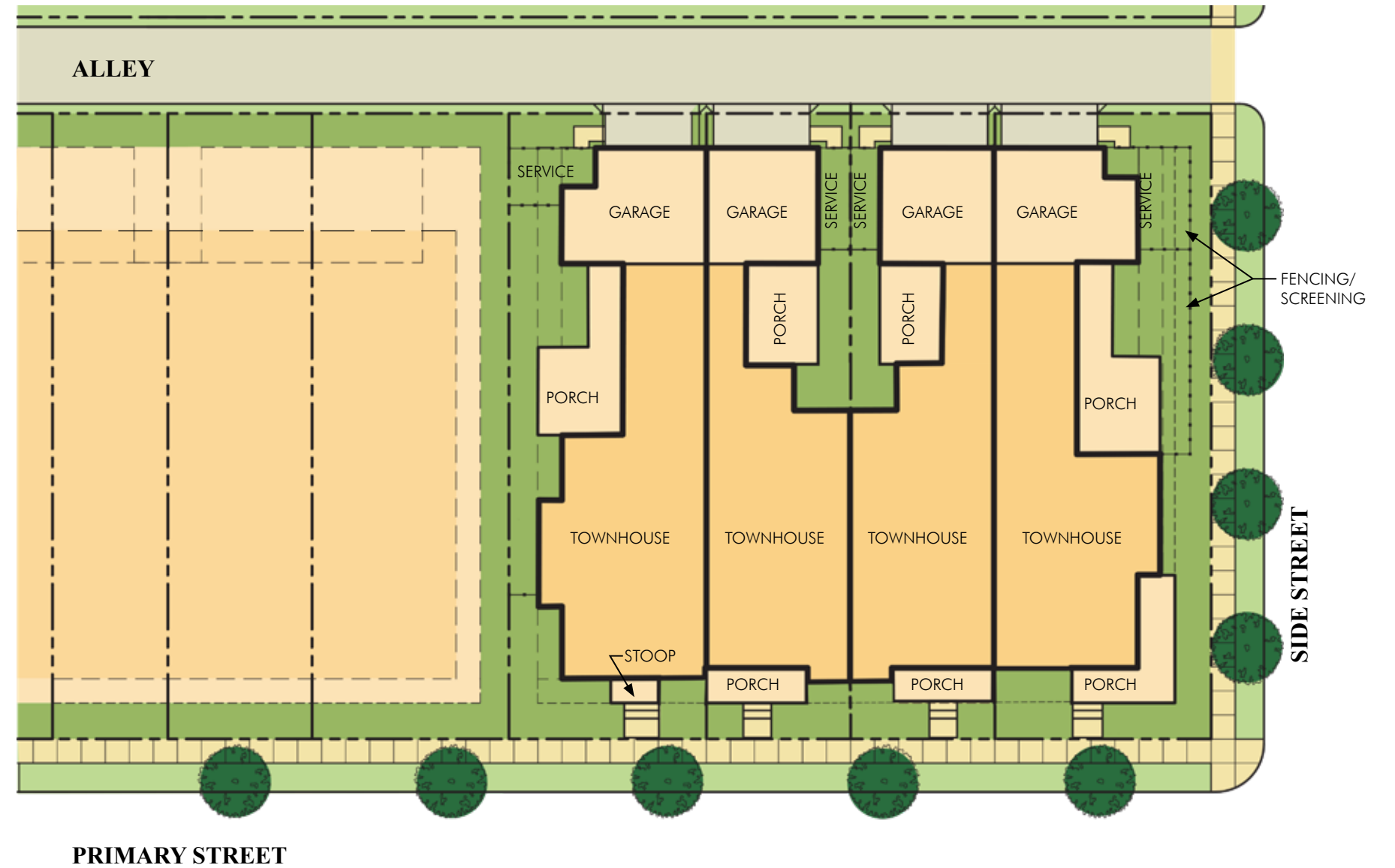
Scale and details appropriate with detached homes.



Porch entries desired with privacy.



Appropriate corner lot architecture.



Townhome design shall embody the appropriate scale, proportions and detailing of single family homes. Care shall be taken to maximize privacy between adjoining properties while capturing the opportunities available with both corner and interior lots. Porches and entrance stoops shall present an obvious individual address to the street for each home. Garages shall be designed to be fully functional with 18 ft. wide doors and 22 ft. by 22 ft. interior dimensions.



# Lot Type RL-45

## 45' Rear-Load

### Typical Lot Dimensions:

Interior Lot:	45' x 110'	4,950 S.F.
Corner Lot:	52' x 110'	5,720 S.F.

### Typical Buildable Area:

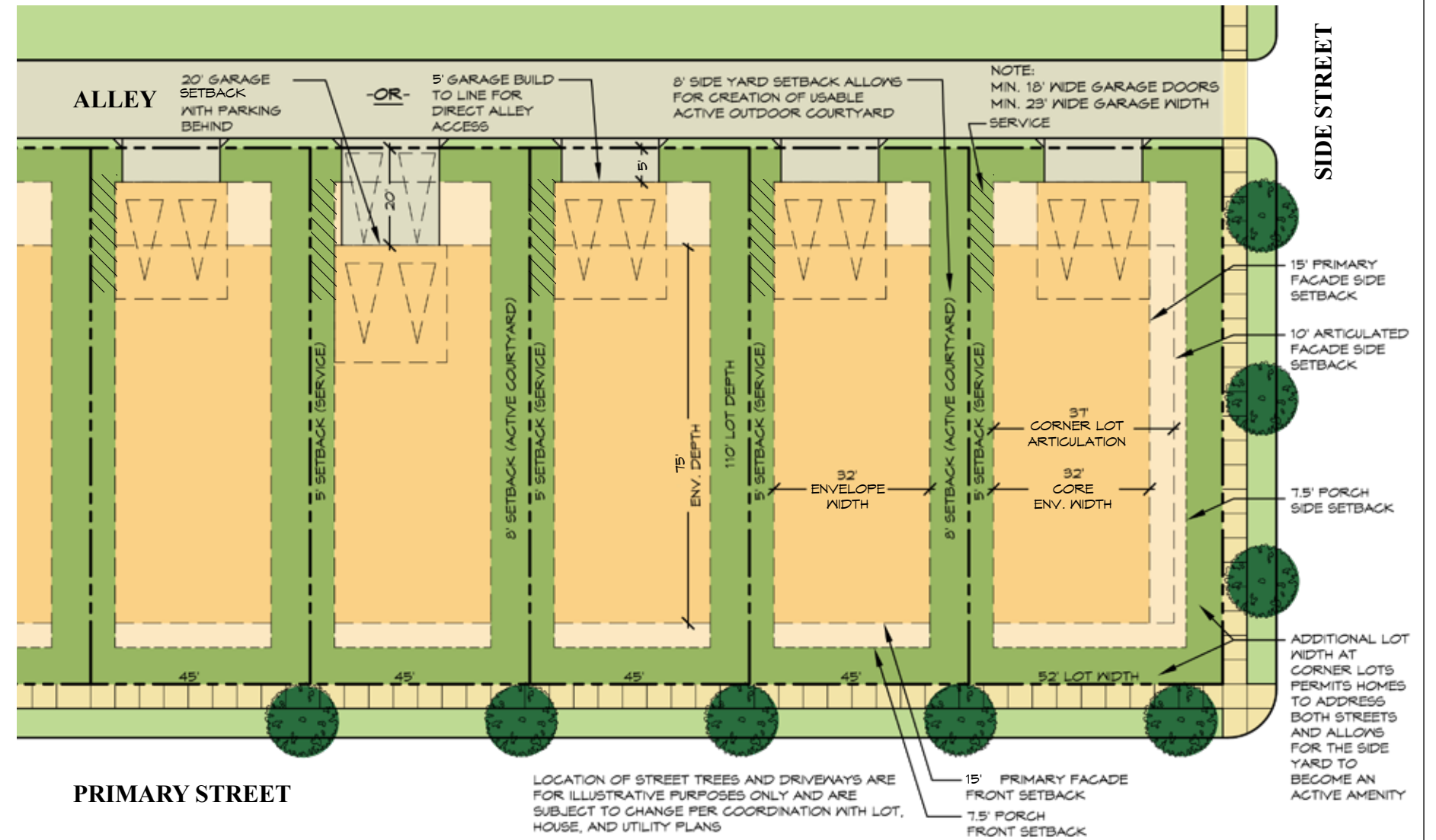
Interior Lot:	32' x 75'	2,400 S.F.
Corner Lot:	32' x 75'	2,400 S.F.

### Garage Access:

Rear Loaded

### Setbacks:

Front:	15'
Rear:	5' Build-to-line or 20' Setback
Side:	
Interior Lot:	5' on Service side 8' on Active Courtyard side
Corner Lot:	15' Primary Facade 10' Articulated Facade
Porch/Stoop:	7.5'



## Lot Standards

**Stoop:** Less than or equal to 8 FT. width

**Porch:** Greater than 8 FT. width, minimum 7 FT. depth

**Corner Lot Articulation:** A total of up to 50% of the side yard primary facade length can extend to the Articulated Facade Side Setback. There may be no continuous portion of the 50% facade wider than 25 FT. in the articulation zone.

**Side Setbacks:** Lots shall have a Service side with a 5 FT. setback and an Active Courtyard side with an 8 FT. setback.

**Service Zone/Refuse:** Screened/fenced space required for refuse containers. Container storage located to the side of the garage. Utility meters and AC equipment shall be located a minimum of 10 FT. beyond the front facade face and screened or fenced.

**Garage Access:** Vehicles shall enter from rear alley. No exceptions.

**Garage Rear Setbacks:** 5 FT. Build-to-line or 20 FT. setback.

**Lead Walks:** A private 3' wide minimum lead walk will connect the primary front door of the home to the public sidewalk.

**Minimum Home Size:** 1,800 S.F.

## Character Imagery



Southern Living: [houseplans.southernliving.com/plans/SL-1648](https://houseplans.southernliving.com/plans/SL-1648)



### PRIMARY STREET

Homes with a narrow street frontage shall make a single straightforward architectural statement. Simpler in form yet not weaker in character. Well proportioned vertically oriented windows, doors and porch structure allows for strong, timeless architectural form and character. Crafting functional outdoor courtyards is encouraged. Garages shall be designed to be fully functional with 18 ft. wide doors and 22 ft. by 22 ft. interior dimensions.

**LRK** 45' x 110' Rear Load (RL)

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# Lot Type RL-50

## 50' Rear-Load

### Typical Lot Dimensions:

Interior Lot:	50' x 110'	5,500 S.F.
Corner Lot:	57' x 110'	6,270 S.F.

### Typical Buildable Area:

Interior Lot:	37' x 75'	2,775 S.F.
Corner Lot:	37' x 75'	2,775 S.F.

**Garage Access:** Rear Loaded

### Setbacks:

Front:	15'
Rear:	5' Build-to-line or 20' Setback
Side:	
Interior Lot	5' on Service side 8' on Active Courtyard side
Corner Lot:	15' Primary Facade 10' Articulated Facade
Porch/Stoop:	7.5'

## Lot Standards

**Stoop:** Less than or equal to 8 FT. width

**Porch:** Greater than 8 FT. width, minimum 7 FT. depth

**Corner Lot Articulation:** A total of up to 50% of the side yard primary facade length can extend to the Articulated Facade Side Setback. There may be no continuous portion of the 50% facade wider than 25 FT. in the articulation zone.

**Side Setbacks:** Lots shall have a Service side with a 5 FT. setback and an Active Courtyard side with an 8 FT. setback.

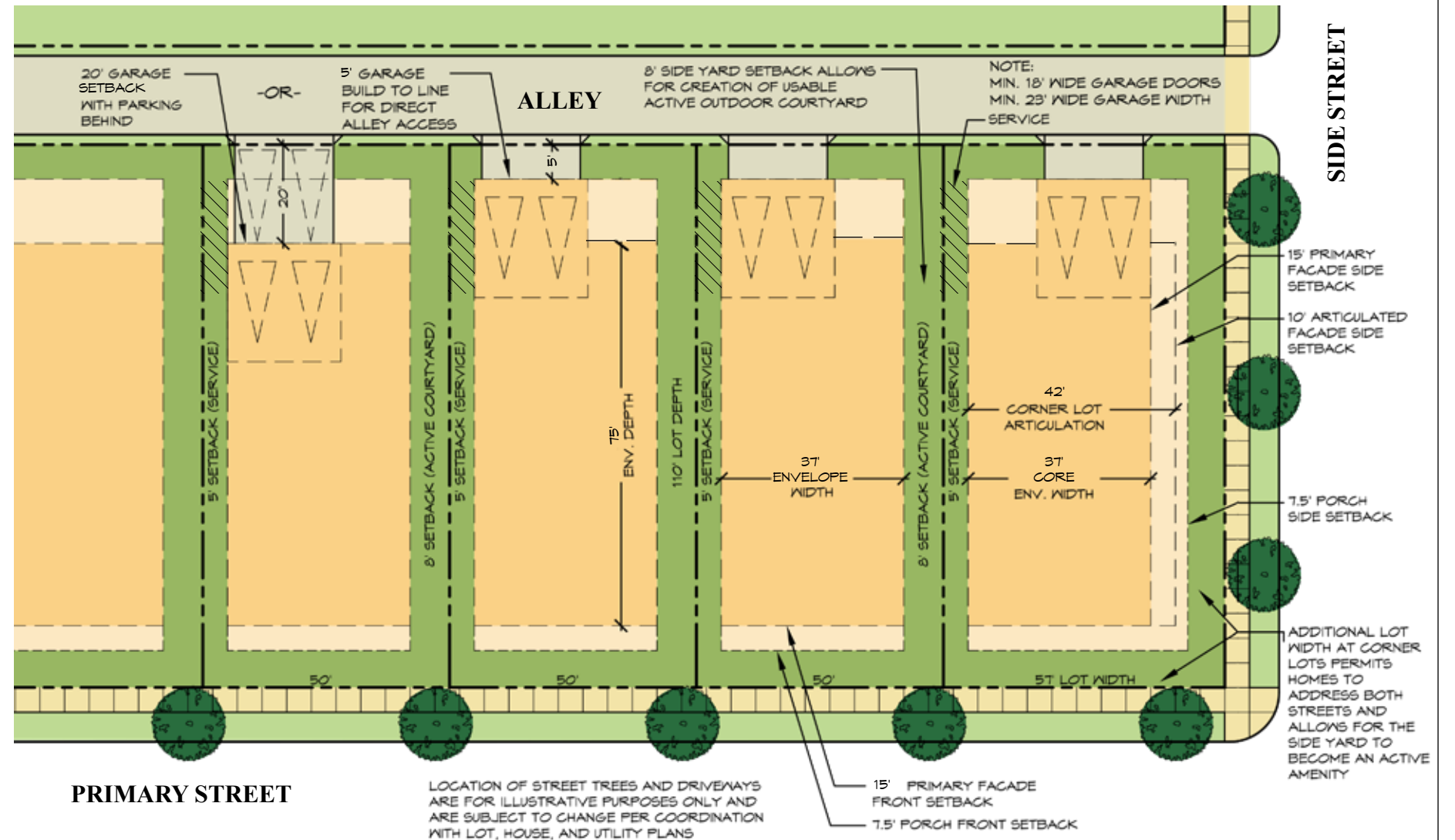
**Service Zone/Refuse:** Screened/fenced space required for refuse containers. Container storage located to the side of the garage. Utility meters and AC equipment shall be located a minimum of 10 FT. beyond the front facade face and screened or fenced.

**Garage Access:** Vehicles shall enter from rear alley. No exceptions.

**Garage Rear Setbacks:** 5 FT. Build-to-line or 20 FT. setback

**Lead Walks:** A private 3' wide minimum lead walk will connect the primary front door of the home to the public sidewalk.

**Minimum Home Size:** 2,200 S.F.



# Character Imagery



Our Town Plans: outownplans.com



PRIMARY STREET

Homes which allow for a classic, timeless facade with porch across a single front wall plane or a single stepped front wall plane. In either case, the architectural forms, scale and proportion shall create an obvious single style/character with appropriate proportions and detailing of key forms and elements. Crafting functional outdoor courtyards is encouraged. Garages shall be designed to be fully functional with 18 ft. wide doors and 22 ft. by 22 ft. interior dimensions.

**LRK** 50' x 110' Rear Load (RL)

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# Lot Type RL-60

## 60' Rear-Load

### Typical Lot Dimensions:

Interior Lot:	60' x 110'	6,600 S.F.
Corner Lot:	65' x 110'	7,150 S.F.

### Typical Buildable Area:

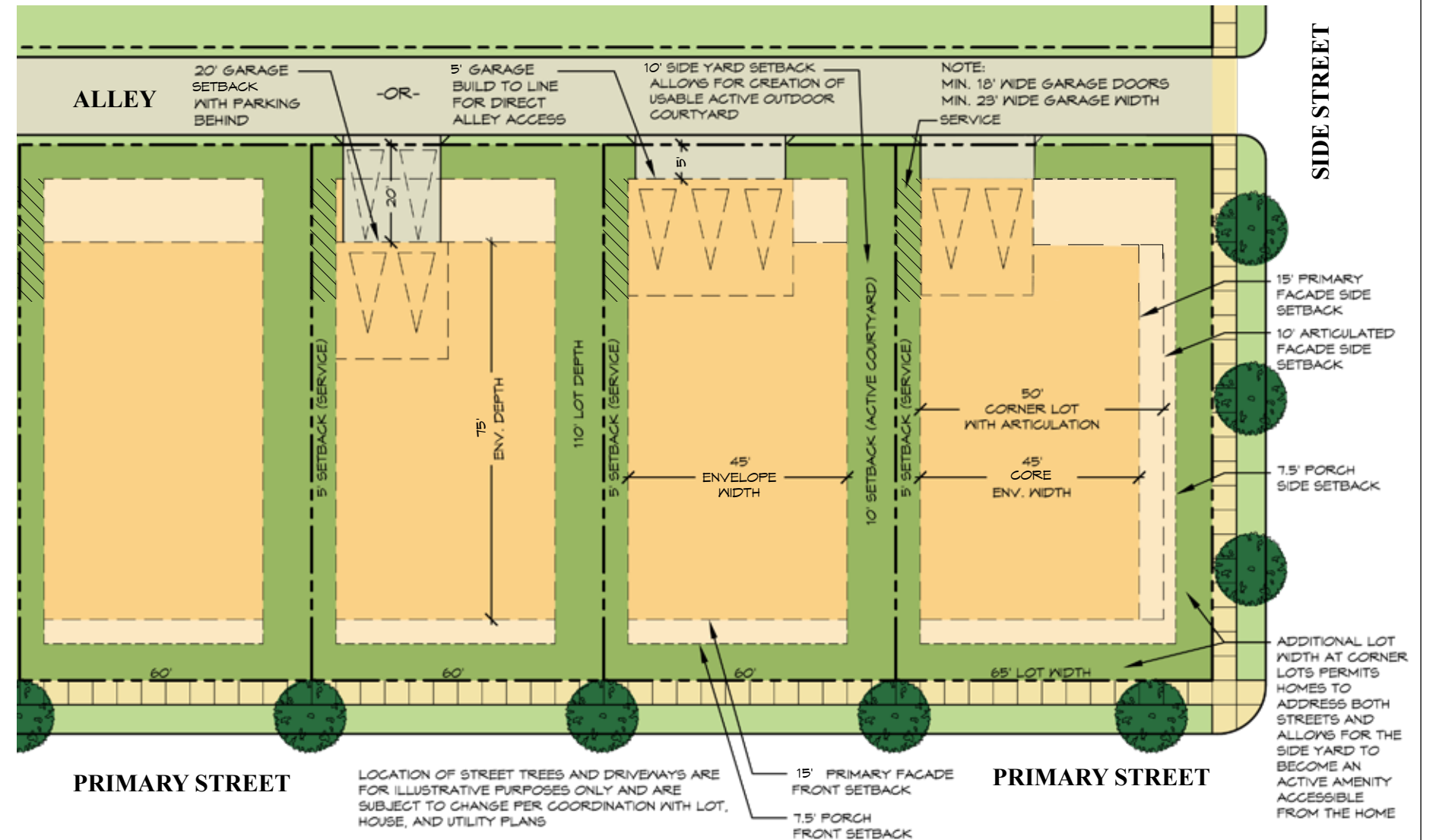
Interior Lot:	45' x 75'	3,375 S.F.
Corner Lot:	45' x 75'	3,375 S.F.

### Garage Access:

Rear Loaded

### Setbacks:

Front:	15'
Rear:	5' Build-to-line or 20' Setback
Side:	
Interior Lot:	5' on Service side 10' on Active Courtyard side
Corner Lot:	15' Primary Facade 10' Articulated Facade
Porch/Stoop:	7.5'



## Lot Standards

**Stoop:** Less than or equal to 8 FT. width

**Porch:** Greater than 8 FT. width, minimum 7 FT. depth

**Corner Lot Articulation:** A total of up to 50% of the side yard primary facade length can extend to the Articulated Facade Side Setback. There may be no continuous portion of the 50% facade wider than 25 FT. in the articulation zone.

**Side Setbacks:** Lots shall have a Service side with a 5 FT. setback and an Active Courtyard side with a 10 FT. setback.

**Service Zone/Refuse:** Screened/fenced space required for refuse containers. Container storage located to the side of the garage. Utility meters and AC equipment shall be located a minimum of 10 FT. beyond the front facade face and screened or fenced.

**Garage Access:** Vehicles shall enter from rear alley. No exceptions.

**Garage Rear Setbacks:** 5 FT. Build-to-line or 20 FT. setback

**Lead Walks:** A private 3' wide minimum lead walk will connect the primary front door of the home to the public sidewalk.

**Minimum Home Size:** 2,400 S.F.



# Character Imagery



Homes which allow for a full width classic scaled main mass and form along the street. The side elevations follow the forms of the front character and proportions. Great opportunities for full functioning outdoor rooms and courtyard/lawn spaces. Garages shall appear as an outbuilding of the main house and 3-car garages are accommodated.

**LRK** 60' x 110' Rear Load (RL)

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# Lot Type FL-65

## 65' Front-Load

### Typical Lot Dimensions:

Interior Lot:	65' x 125'	8,125 S.F.
Corner Lot:	82' x 125'	10,250 S.F.
Corner Lot Interior/Alley:	74' x 125'	9,250 S.F.

### Buildable Area:

Interior Lot:	50' x 85'	4,250 S.F.
Corner Lot:	57' x 85'	4,845 S.F.
Corner Lot Interior/Alley:	57' x 85'	4,845 S.F.

### Garage Access: Front or Side Loaded

### Setbacks:

Front:	20'
Rear:	20' for home 10' for garage or accessory use less than 20' in height
Side:	
Interior Lot:	5' on Service side 10' on Active Courtyard side
Corner Lot:	15' Primary Facade 10' Articulated Facade
Porch/Stoop:	12' Primary Street 10' Side Street
Garage:	30' Primary Street 22' Along rear side of Side Street 20' Auto court

### Lot Standards

**Stoop:** Less than or equal to 8 FT. width

**Porch:** Greater than 8 FT. width, minimum 7 FT. depth

**Corner Lot Articulation:** A total of up to 50% of the side yard primary facade length can extend to the Articulated Facade Side Setback. There may be no continuous portion of the 50% facade wider than 25 FT. in the articulation zone.

**Side Setbacks:** Lots shall have a Service side with a 5 FT. setback and an Active Courtyard side with a 10 FT. setback.

**Service Zone/Refuse:** Screened/fenced space required for utility meters, refuse containers, and AC equipment.

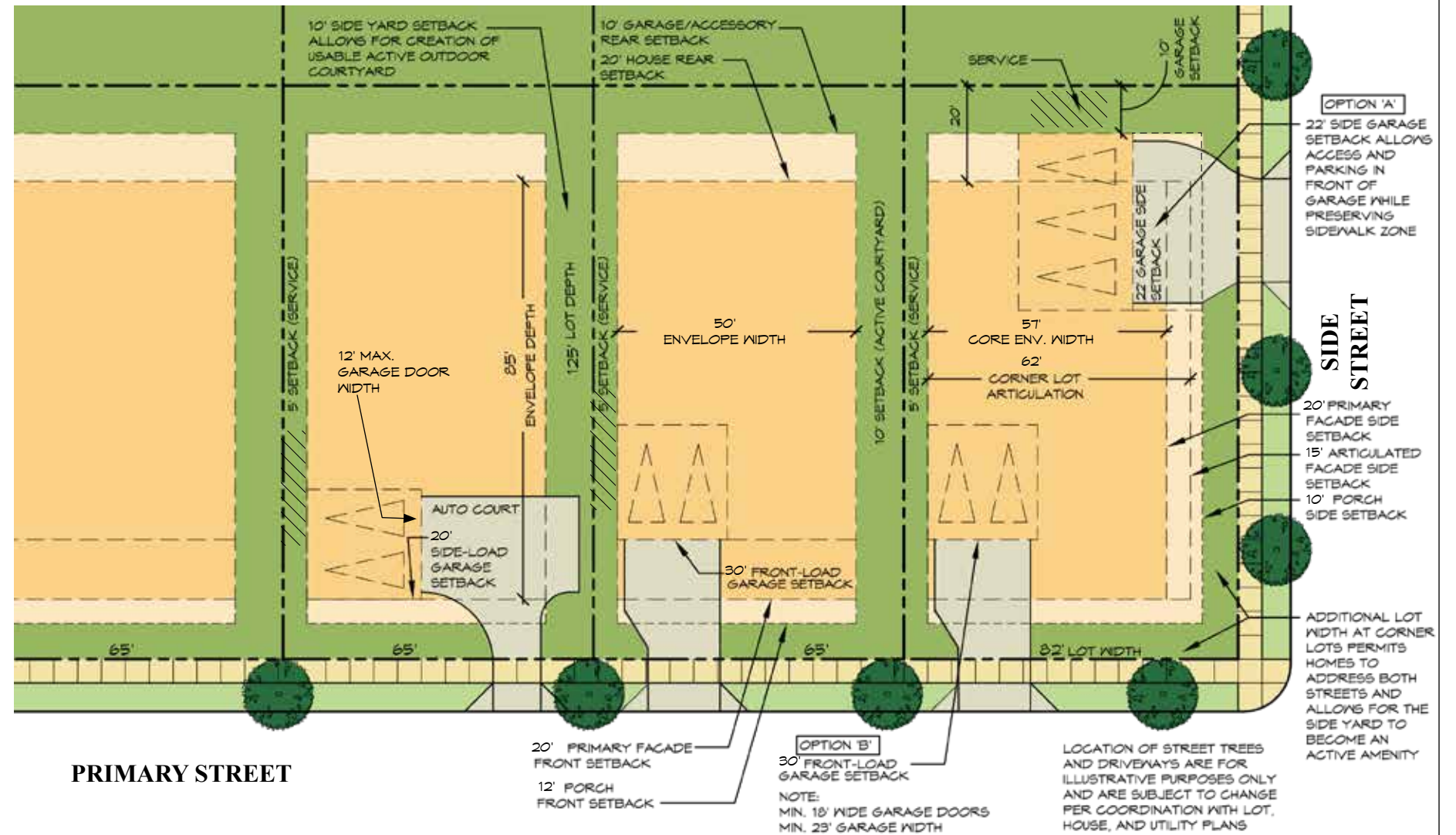
**Garage Front Setbacks:** Front-load garages require minimum 30 FT. Front Setback along primary street and minimum 22 FT. Side Street Setback. Street facing 3-car garages are not allowed facing primary street frontage. Side loaded/ auto court garage Front Setback of 20 FT. to front side wall of garage. The maximum width of front-load garages on primary street frontage may not exceed 50% of the front elevation width.

**Garage Side Setbacks:** The side wall of front loaded, street facing garages or the rear wall of auto court garages are to align with the utility/service side of lot. Corner lot garages shall be located along one street or the other away from the corner.

**Garage Rear Setbacks:** 1 or 1 1/2-story garages less than 20 FT. in height are permitted to encroach 10 FT. into a 20 FT. Rear Yard Setback.

**Lead Walks:** A private 3' wide minimum lead walk will connect the primary front door of the home to the public sidewalk.

**Minimum Home Size:** 2,400 S.F.





## Character Imagery



Front loaded lots are to have architectural home designs in which the home is the main visual feature and not the garage. Front loaded garages shall be recessed behind the main front facade. Auto court designs are acceptable when the garage form, mass and details are a secondary, accessory or carriage house design in character. Corner lots should be designed with garage located to the rear of the lot with access off the side street. Garage doors shall blend with and into the style and character of the home and shall also be painted to blend in contrast.

**LRK** 65' x 120' Front Load (FL)

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# Lot Type FL-70

## 70' Front-Load

### Typical Lot Dimensions:

Interior Lot:	70' x 125'	8,750 S.F.
Corner Lot:	87' x 125'	10,875 S.F.
Corner Lot Interior/Alley:	79' x 125'	9,875 S.F.

### Buildable Area:

Interior Lot:	55' x 85'	4,675 S.F.
Corner Lot:	62' x 85'	5,270 S.F.
Corner Lot Interior/Alley:	62' x 85'	5,270 S.F.

### Garage Access:

Front or Side Loaded

### Setbacks:

Front:	20'
Rear:	20' for home 10' for garage or accessory use less than 20' in height
Side:	
Interior Lot:	5' on Service side 10' on Active Courtyard side
Corner Lot:	15' Primary Facade 10' Articulated Facade
Porch/Stoop:	12' Primary Street 10' Side Street
Garage:	30' Primary Street 22' Along rear side of Side Street 20' Auto court

### Lot Standards

**Stoop:** Less than or equal to 8 FT. width

**Porch:** Greater than 8 FT. width, minimum 7 FT. depth

**Corner Lot Articulation:** A total of up to 50% of the side yard primary facade length can extend to the Articulated Facade Side Setback. There may be no continuous portion of the 50% facade wider than 25 FT. in the articulation zone.

**Side Setbacks:** Lots shall have a Service side with a 5 FT. setback and an Active Courtyard side with a 10 FT. setback.

**Service Zone/Refuse:** Screened/fenced space required for utility meters, refuse containers, and AC equipment.

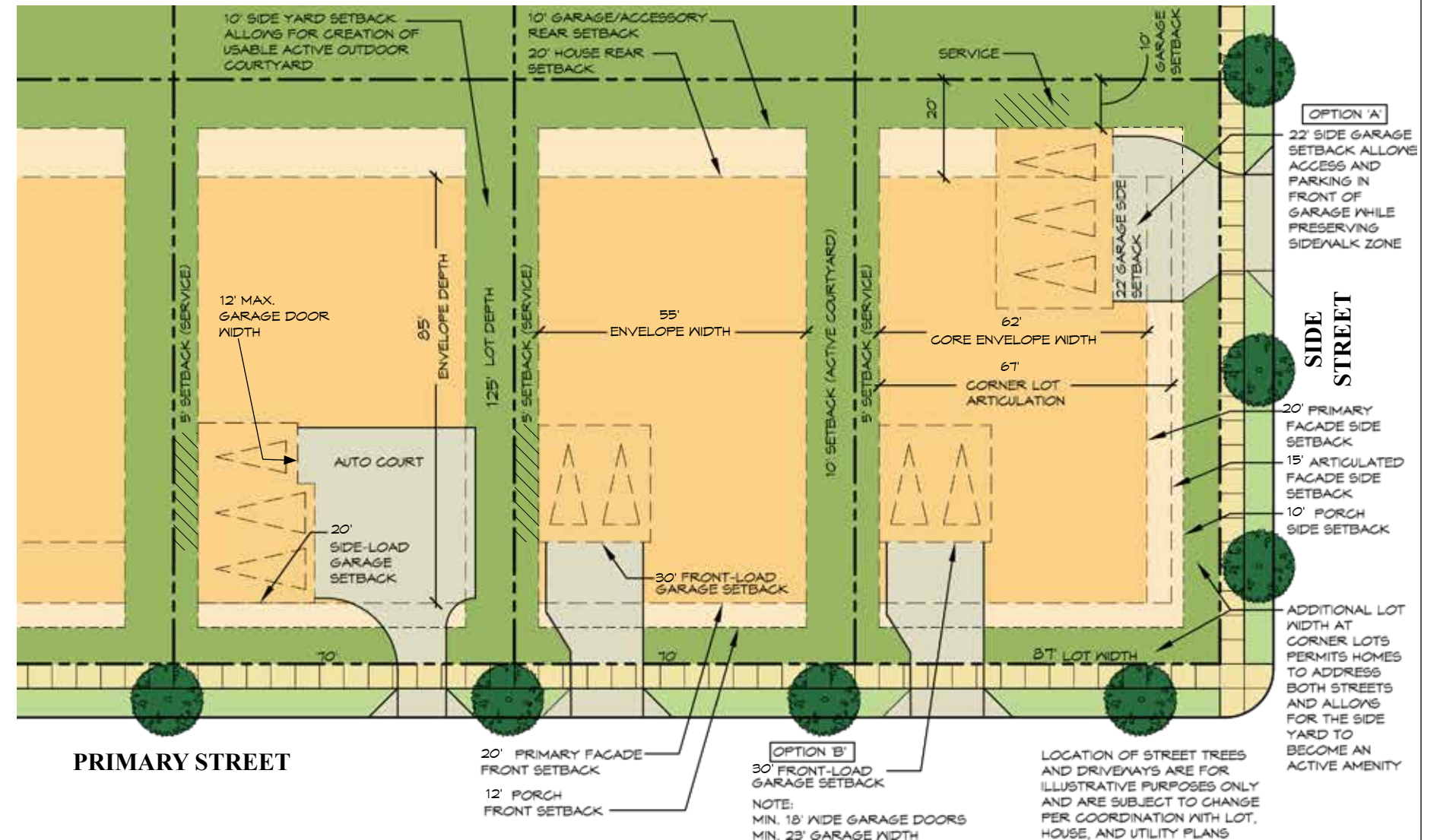
**Garage Front Setbacks:** Front-load garages require minimum 30 FT. Front Setback along primary street and minimum 22 FT. Side Street Setback. Street facing 3-car garages are not allowed facing primary street frontage. Side loaded/auto court garage Front Setback of 20 FT. to front side wall of garage. The maximum width of front-load garages on primary street frontage may not exceed 50% of the front elevation width. Note: This width will allow for separate 10 FT. wide garage doors (which are encouraged).

**Garage Side Setbacks:** The side wall of front loaded, street facing garages or the rear wall of auto court garages are to align with the utility/service side of lot. Corner lot garages shall be located along one street or the other away from the corner.

**Garage Rear Setbacks:** 1 or 1 1/2-story garages less than 20 FT. in height are permitted to encroach 10 FT. into a 20 FT. Rear Yard Setback at front loading lots only.

**Lead Walks:** A private 3' wide minimum lead walk will connect the primary front door of the home to the public sidewalk.

**Minimum Home Size:** 2,800 S.F.





## Character Imagery



**PRIMARY STREET**

Front loaded lots are to have architectural home designs in which the home is the main visual feature and not the garage. Front loaded garages shall be recessed behind the main front facade. Auto court designs are acceptable when the garage form, mass and details are a secondary, accessory or carriage house design in character. Corner lots should be designed with garage located to the rear of the lot with access off the side street. Garage doors shall blend with and into the style and character of the home and shall also be painted to blend in contrast. This lot width will allow for separate 10 ft. wide garage doors versus a single 18 ft. wide door. Appropriately styled separate garage doors are encouraged for both aesthetic and increased functionality reasons and benefits.

**LRK** 70' x 120' Front Load (FL)

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# Lot Type FL-80

## 80' Front-Load

### Typical Lot Dimensions:

Interior Lot:	80' x 125'	10,000 S.F.
Corner Lot:	92' x 125'	11,500 S.F.

### Buildable Area:

Interior Lot:	65' x 85'	5,525 S.F.
Corner Lot:	67' x 85'	5,695 S.F.

**Garage Access:** Front or Side Loaded

### Setbacks:

Front:	20'
Rear:	20'
	10' for garage or accessory use less than 20' in height
Side:	
Interior Lot:	5' on Service Side 10' on Courtyard Side
Corner Lot:	15' Primary Facade 10' Articulated Facade
Porch/Stoop:	12' Primary Street 10' Side Street
Garage:	30' Primary Street 24' Along rear side of Side Street 20' Auto court

### Lot Standards

**Stoop:** Less than or equal to 8 FT. width

**Porch:** Greater than 8 FT. width, minimum 7 FT. depth

**Corner Lot Articulation:** A total of up to 50% of the side yard primary facade length can extend to the Articulated Facade Side Setback. There may be no continuous portion of the 50% facade wider than 25 FT. in the articulation zone.

**Side Setbacks:** Lots shall have a Service side with a 5 FT. setback and an Active Courtyard side with a 10 FT. setback.

**Service Zone/Refuse:** Screened/fenced space required for utility meters, refuse containers, and AC equipment.

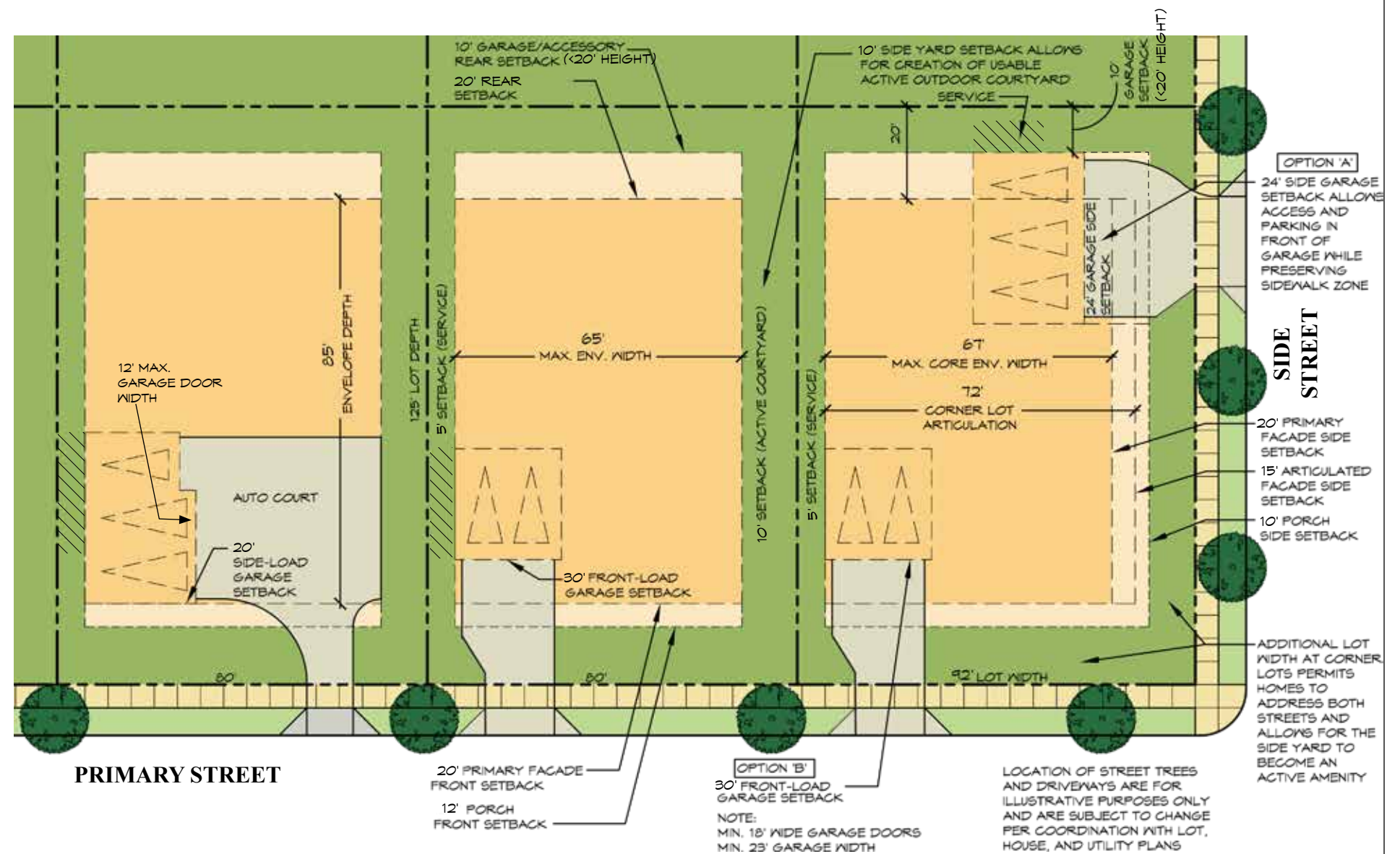
**Garage Front Setbacks:** Front-load garages require minimum 30 FT. Front Setback along primary street and minimum 24 FT. Side Street Setback. Street facing 3-car garages are not allowed facing primary street frontage. Side loaded/auto court garage Front Setback of 20 FT. to front side wall of garage. The maximum width of front-load garages on primary street frontage may not exceed 50% of the front elevation width. Note: This width will allow for separate 10 FT. wide garage doors (which are encouraged).

**Garage Side Setbacks:** The side wall of front loaded, street facing garages or the rear wall of auto court garages are to align with the utility/service side of lot. Corner lot garages shall be located along one street or the other away from the corner.

**Garage Rear Setbacks:** 1 or 1 1/2-story garages less than 20 FT. in height are permitted to encroach 10 FT. into a 20 FT. Rear Yard Setback at front loading lots only.

**Lead Walks:** A private 3 FT. wide minimum lead walk will connect the primary front door of the home to the public sidewalk.

**Minimum Sq. Ft.:** 3,000 S.F.





# Character Imagery



Front loaded lots are to have architectural home designs in which the home is the main visual feature and not the garage. Front loaded garages shall be recessed behind the main front facade. Auto court designs are acceptable when the garage form, mass and details are a secondary, accessory or carriage house design in character. Corner lots should be designed with garage located to the rear of the lot with access off the side street. Garage doors shall blend with and into the style and character of the home and shall also be painted to blend in contrast. This lot width will allow for separate 10 ft. wide garage doors versus a single 18 ft. wide door. Appropriately styled separate garage doors are encouraged for both aesthetic and increased functionality reasons and benefits. This lot width will allow for 3-car auto court garages. If desired the auto court/carriage house design will be required to appropriately provide a scale, form and detail which does not dominate the main house architecture.

**LRK** 80' x 125' Front Load (FL)

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