



The
LEGACY

AT COLONIAL



RESIDENTIAL DESIGN GUIDELINES

CREDITS & CONTENTS

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The Legacy at Colonial Design Guidelines.

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OVERVIEW & INTENT



These Residential Design Guidelines are intended to help create a complete community of streetscapes and buildings, based on proven American town building principles. While each building shall stand on its own design merit, each individual building will contribute to the desired community character so that the compatibility, long-term quality and appreciation of value may be optimized. These Residential Design Guidelines are not intended to reproduce historical buildings, but result in streetscapes featuring a variety of distinct but harmonious architectural styles using timeless design principles, modern materials and current building practices.

These guidelines are intended as a general and occasionally specific guide to owners, architects, and builders for the style, character, and level of quality required for homes and improvements within The Legacy at Colonial Country Club.

The guidelines are provided to illustrate the intended design character of the neighborhood. While the images and elements contained herein are not fully comprehensive in scope, they will be used by the Architectural Review Committee (ARC) as a standard for reviewing new homes or improvements. The ARC will have the exclusive authority to define any term or interpret the applicability of any item or component, in part or in whole, contained in these Residential Design Guidelines.

These Residential Design Guidelines are the basis for the ARC to evaluate submissions for new homes, improvements, and additions within The Legacy at Colonial.

These Residential Design Guidelines have been produced in an 11" x 17" color format. The use of these Residential Design Guidelines, including information and imagery contained within, is solely at the risk of the user. The ARC and its employees and agents shall have no liability or responsibility to any party in connection with the use of these Residential Design Guidelines or for comments, suggestions and/or redesigns from the actual design review process. Any person or entity using these Residential Design Guidelines shall:

- Independently evaluate any design image, character, element, material or detail contained herein, and ascertain its suitability for such person's or entity's intended use.
- Ensure that all designs prepared in connection with the use of these Design Guidelines meet all applicable regulations of Federal, State, and local requirements, including, but not limited to, all applicable zoning, building construction codes, accessibility requirements, fire sub-code and other life safety provisions necessary for the intended use of any property.
- Retain the services of a qualified architect or design professional that is approved by the ARC. Contractors must be licensed in the state of Tennessee and must be approved by the ARC.

1 | **COMMUNITY GUIDELINES**

This chapter provides guidelines for the placement and orientation of buildings, the location and screening of services, building frontages, and garage design. These elements apply to all residential buildings, and contribute to the overall character and efficiency of The Legacy at Colonial.

- 1.1 Site Planning
- 1.2 Special Condition Lots
- 1.3 Frontage Elements
- 1.4 Garage Design

SITE PLANNING



Level of design and detail are not appropriate for a facade oriented onto a common space. Lack of windows on corner implies a non-social interior space placed on the corner of the home.



Public utility boxes, transformers, etc. shall be appropriately landscaped to minimize negative impact along the public way.



Mechanical equipment shall be appropriately landscaped to minimize negative impact along the public way.

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BUILDING PLACEMENT & ORIENTATION

- The primary facade face shall be located along or near the front setback line to establish a compatible streetscape. Homes may be located behind the front setback when deemed appropriate by the Reviewer.
- Buildings shall be sited towards and relate to the street or adjacent common space.
- Social areas of the home such as the living room and dining room should be oriented to the street or adjacent common space whenever possible.
- Each building shall have a 3' wide walkway connection between the front entrance and the adjoining public sidewalk.

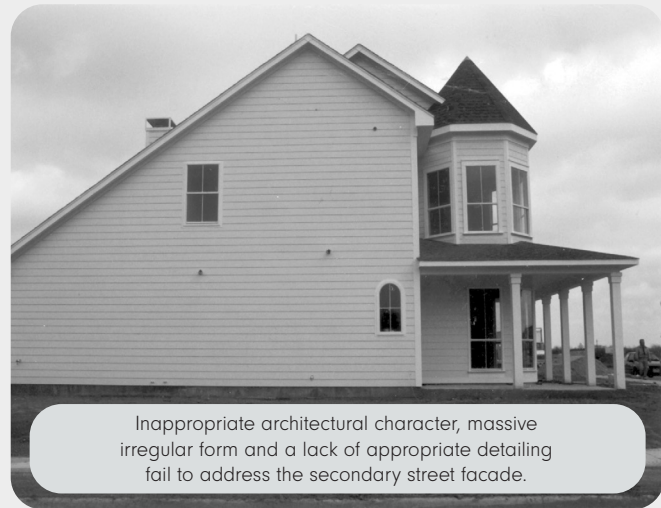
UTILITIES & EQUIPMENT

- All telephone lines, cable lines, or any utility or other service line or cable on any portion of any Lot shall be run underground.
- All mechanical, electrical and electronic equipment including air conditioning condensing units will be located behind the front building line of primary structures. All such equipment must be fenced or landscaped so it cannot be seen from the street.
- Window air conditioning units are not allowed.
- All service panels, electrical boxes, utility meters, or other exterior devices or structures, whether attached to the house or not, shall be screened or painted to match the structure.
- No exterior aerials, antennas, or satellite dishes may be erected or installed without written permission from the ARC. Any approved satellite dishes must be located to minimize visibility from the street.

REFUSE

- Recycling, trash, garbage, and other waste and rubbish will be kept in sanitary containers provided specifically for these purposes.
- All recycling, trash, garbage, and other waste and rubbish containers must be stored within the garage or screened from view.

SPECIAL CONDITION LOTS



Inappropriate architectural character, massive irregular form and a lack of appropriate detailing fail to address the secondary street facade.



Garage is inappropriately placed with the garage doors orienting onto a common space and terminating a view corridor.

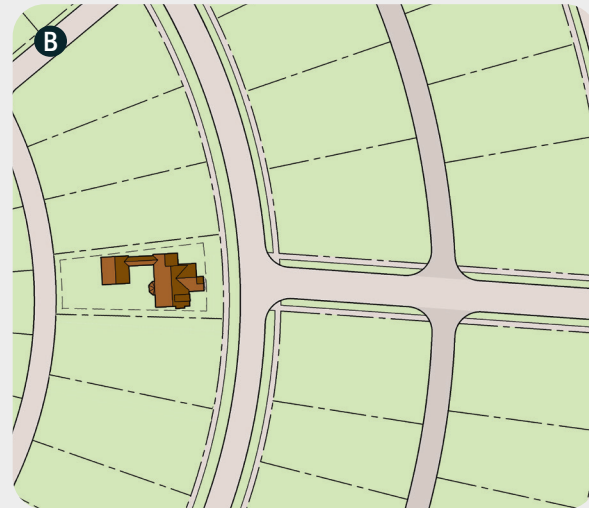


Homes that turn their side or rear to the common space offer no added value to this area.

INAPPROPRIATE



APPROPRIATE



OVERVIEW

Special Condition Lots are typically located at street corners, at the end of a street intersection or view corridor, and/or against a street or pedestrian path edge that defines common space. Home designs located on Special Condition Lots shall be designed and/or selected to be appropriately responsive to the identified special condition or location. Special Condition Lots and home designs have a greater impact upon the overall character of the community due to the of high visibility to either the front and/or the side facades of these homes.

Homes on Special Condition Lots shall exhibit characteristics such as: a prominent well designed front elevation, a side elevation in which the identifiable character and detailing of the front facade continues along the side elevation, a front porch that continues along or turns the corner of the home along the side elevation, or bay windows or appropriate offsets to the plan and elevations in order to capture the additional corner lot buildable area provided.

A HOMES ON CORNER LOTS & LOTS WITH MULTIPLE FRONTAGES

- Homes on lots with two or more facades fronting to the street or common space shall be designed to respond to both locations.
- The main body of the house on the primary street shall generally be located parallel to the front setback line to establish a streetscape-defining form.
- Architectural character, materials and detailing shall continue from the front facade around the corner to the corner side facade appropriately addressing both primary and secondary street frontages. Wrap around porches or other architectural massing such as projecting bays or forms are recommended to articulate the corner side facade.

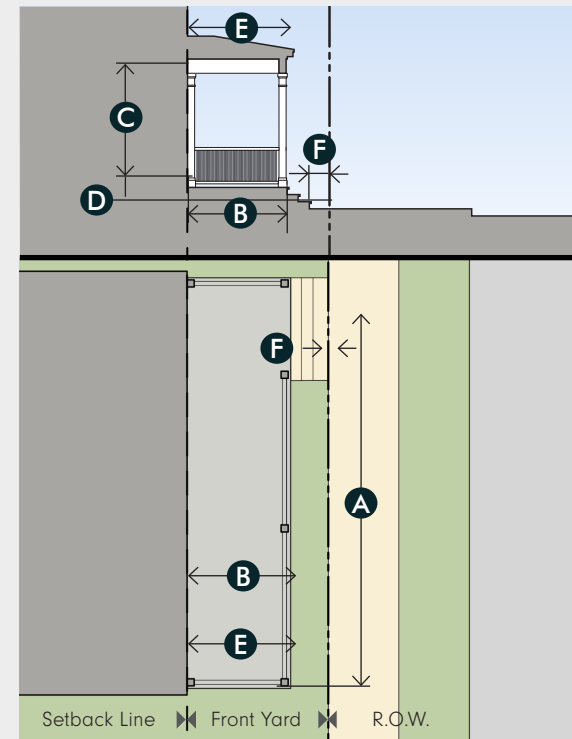
B HOMES ON LOTS THAT TERMINATE VIEWS

- Homes located at the termination of view corridors, vistas or street axes shall require appropriate building form and architectural treatment, in order to emphasize a pleasant terminated view.
- The main body of the house shall be prominent and align with the street axis. Such homes shall not align a front loaded driveway or garage doors with the vista or axis.

C HOMES ON LOTS THAT DEFINE COMMON SPACE

- Facades of homes on lots adjacent to a street edge defining a common space shall be designed to respond to that prominent location.
- These homes shall provide interesting and appropriate facade articulation, which may include porches, bay windows and other elements which respond to both the street and the common space.
- The homes and entries shall be sited to front towards the common space so they clearly define the space and create the 'feeling' of an attractive 'outdoor room'.

FRONTAGE ELEMENTS



PROJECTING PORCH

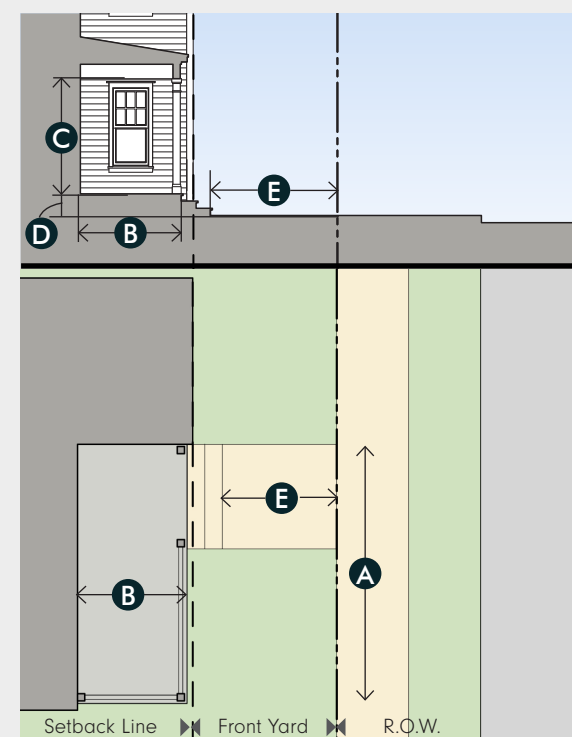
The facade is setback from the R.O.W. with an attached porch that is open on three sides. A projecting porch may encroach into the Front Yard. All habitable space is located behind the Setback Line.

RECOMMENDED DIMENSIONS

Width	12' min.	A
Depth		
Along Front	7' min.	B
Along Side (wrap-around)	5' min.	
Height, clear	8' min.	C
Finish level above sidewalk	18" min.	D

ENCROACHMENTS

A projecting porch may encroach into the setback per lot type.	E
Steps from the porch may encroach up to but not beyond the R.O.W.	F



ENGAGED PORCH

The facade is setback from the R.O.W. with an attached porch that is open on two adjacent sides with the two remaining sides engaged to the building. All habitable space is located behind the Setback Line.

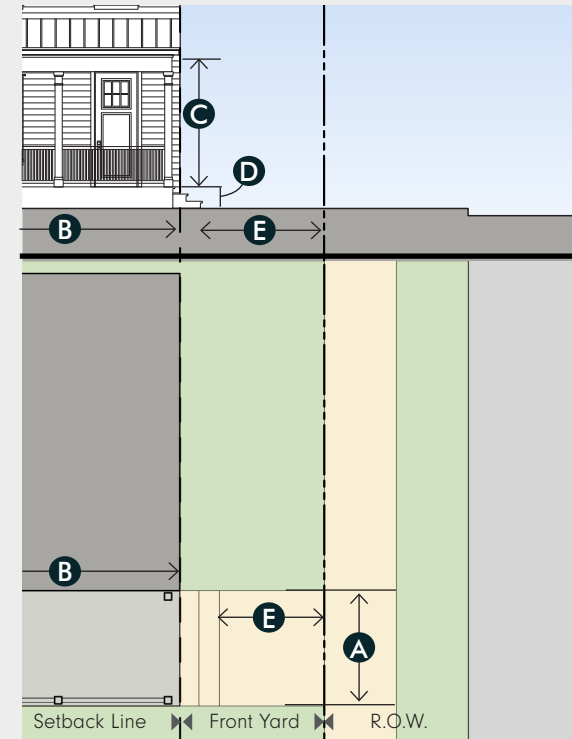
RECOMMENDED DIMENSIONS

Width	12' min.	A
Depth	7' min.	B
Height, clear	8' min.	C
Finish level above sidewalk	18" min.	D

ENCROACHMENTS

Steps from the porch may encroach up to but not beyond the R.O.W.	E
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FRONTAGE ELEMENTS



SIDE PORCH

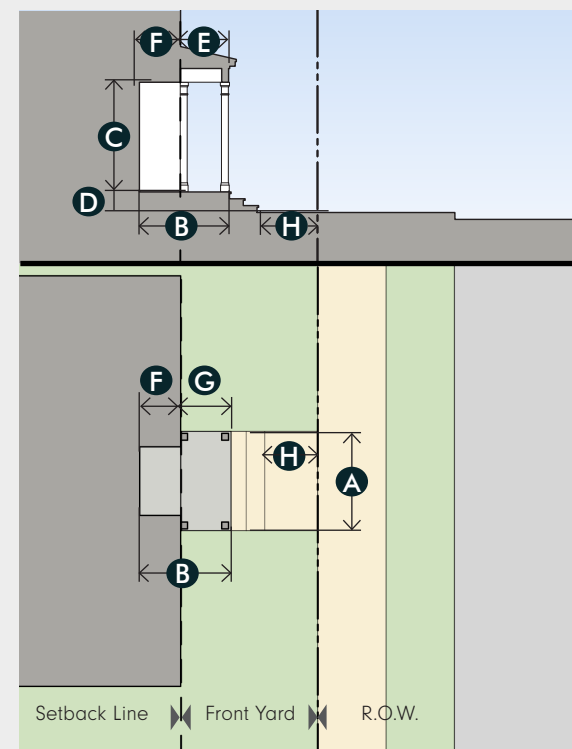
The facade is setback from the R.O.W. with an attached porch along one side of the building that is open on at least two adjacent sides. All habitable space is located behind the Setback Line.

RECOMMENDED DIMENSIONS

Width	7' min.	A
Depth	12' min.	B
Height, clear	8' min.	C
Finish level above sidewalk	18" min.	D

ENCROACHMENTS

Steps may encroach up to but not beyond the R.O.W.	E
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STOOP

The facade is setback from the R.O.W. with a recessed entry and/ or projecting stoop. A projecting stoop may encroach into the Front Yard. All habitable space is located behind the Setback Line.

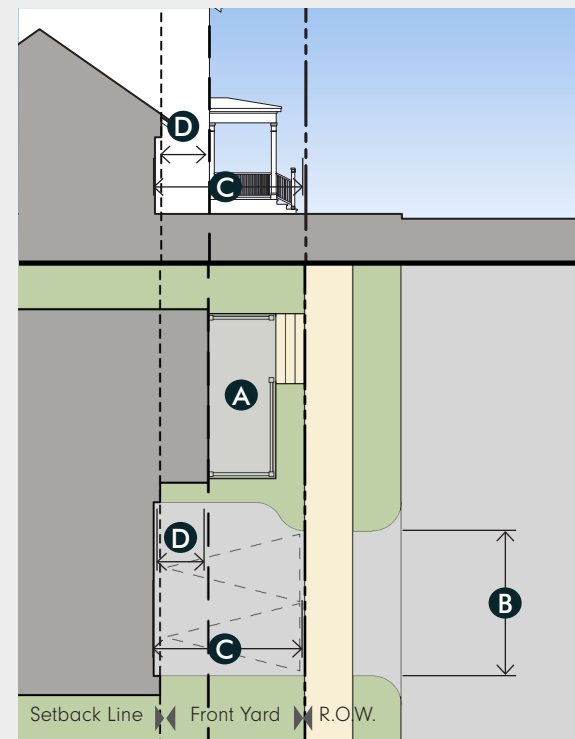
RECOMMENDED DIMENSIONS

Width	4' min.; 12' max.	A
Landing depth	4' min.	B
Height, clear	8' min.	C
Finish level above sidewalk	18" min.	D
Covered entry projection	5' max.	E
Depth of recessed entries	6' max.	F
Height	1 story max.	

ENCROACHMENTS

Covered entries may encroach up to 5' into the setback.	G
Steps may encroach up to but not beyond the R.O.W.	H

FRONTAGE ELEMENTS



GARAGE & PORCH

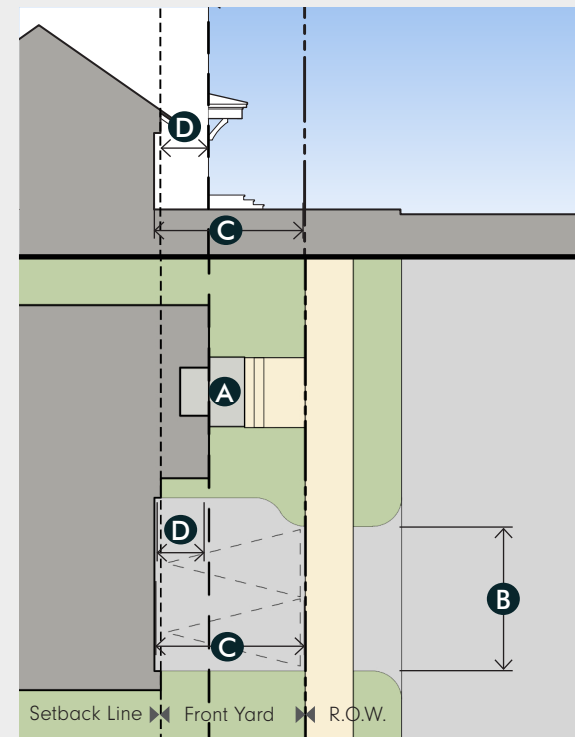
The facade is setback from the R.O.W. with an attached porch along one side of the building that is open on at least two adjacent sides. All habitable space is located behind the Setback Line, including a garage that is setback from the front facade.

RECOMMENDED DIMENSIONS

See Porch Frontage for Porch dimensions	A
Driveway width at street	17' max. B
Front Loaded Garage Setback from Back of Sidewalk	25' min. C
Front Loaded Garage Setback from Front Facade	2' min. D

ENCROACHMENTS

See Porch Frontage for Porch dimensions	A
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GARAGE & STOOP

The facade is setback from the R.O.W. with a recessed entry and/ or projecting stoop. A projecting stoop may encroach into the Front Yard. All habitable space is located behind the Setback Line, including a garage that is setback from the front facade.

RECOMMENDED DIMENSIONS

See Stoop Frontage for Stoop dimensions	A
Driveway width at street	17' max. B
Front Loaded Garage Setback from Back of Sidewalk	25' min. C
Front Loaded Garage Setback from Front Facade	2' min. D

ENCROACHMENTS

See Stoop Frontage for Stoop dimensions	A
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GARAGE DESIGN



Garage is forward of main house and dominates the elevation.



Garage is forward of main house and dominates the elevation.



Stamped "false panel" steel doors are not appropriate.

INAPPROPRIATE



APPROPRIATE

GARAGE MASSING & CONFIGURATION

- All homes must include a private, enclosed garage capable at all times of housing at least two standard-size vehicles.
- The location, massing and scale of a garage shall not compete with or overwhelm the primary body or architectural form of the house.
- Garage forms, design, materials and detailing shall be similar in detail and quality to the main body of the house.
- A garage which is visible from the street or common open space shall receive careful design attention and shall complement the primary facade, yet be seen as a secondary element.
- Special attention shall be given to the design of alley access garages so that any slope variance from the alley to the finished floor level of the garage is not excessive. Including, in some instances, drop garage floors with steps to the level of interior space.
- The garage doors on all front entry garages shall not be forward of the front facade of the house.
- J-Swing entries are discouraged and shall not be used on 50' lots and any lot facing a public space.
- Where a 3-vehicle garage is necessary, separate single bay garage doors are preferred, but 1 double door and 1 single door is acceptable. On non J-Swing front loaded entries, one space shall be tandem.
- Carports are prohibited.

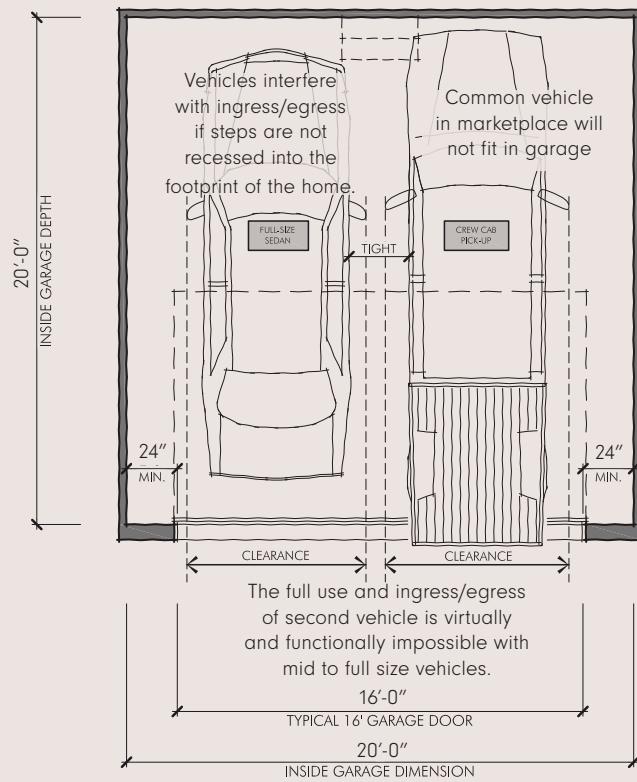
GARAGE DOOR DESIGN

- Garage door designs shall be selected to complement the architectural style and character of the home and use style appropriate decorative hardware.
- Appropriately styled and detailed "carriage style" doors are encouraged.
- Where possible, single car garage doors are encouraged.
- Garage door wall shall be framed to provide the garage door with a recessed appearance.
- Doors with "snap in false decorative arches, etc." are not appropriate.
- Window muntins, if used, shall be true or simulated divided lites appropriate to the architectural style.

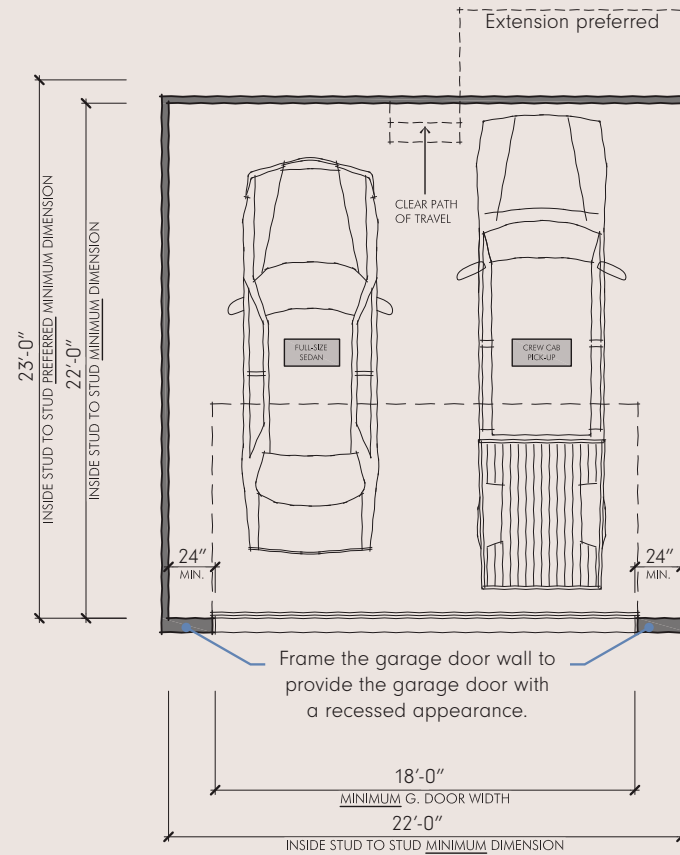
GARAGE DESIGN

NARROW GARAGE

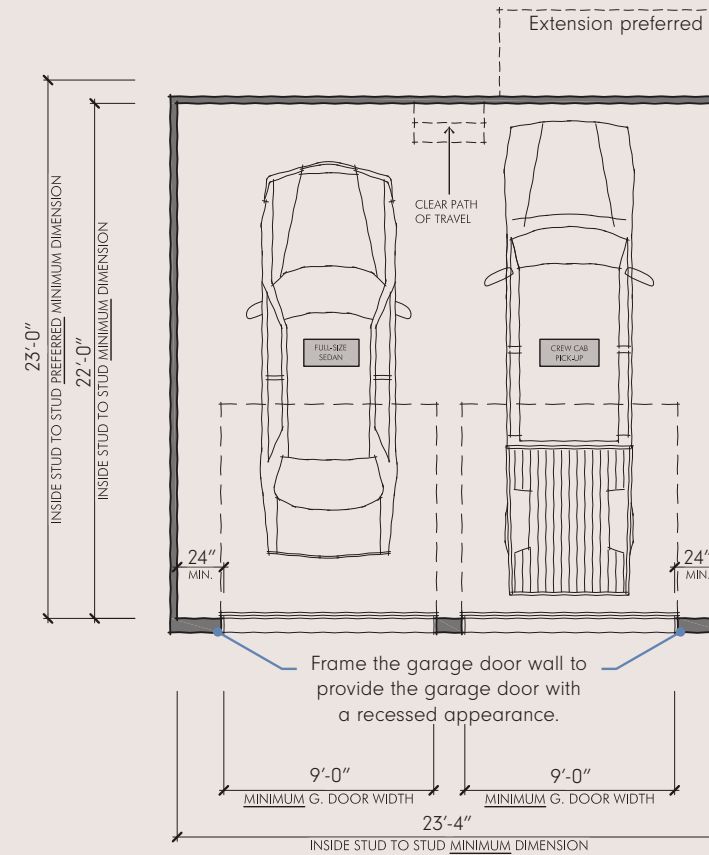
This type and size of garage / garage door virtually becomes a shallow one-vehicle garage, or is only valid for two small/mini sized vehicles. This inadequate level of design creates issues for valid vehicle parking in the community and reduces values for all.



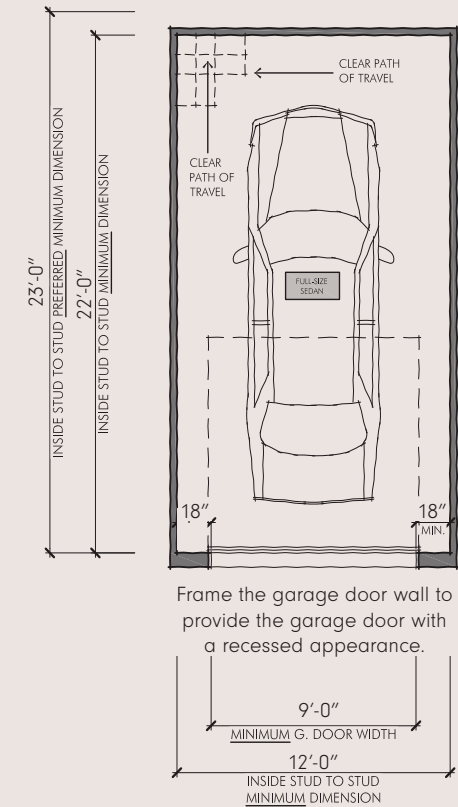
ONE DOUBLE DOOR



TWO SINGLE DOORS



ONE SINGLE DOOR



Narrow two car garage effectively becomes a single car garage.

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RECOMMENDED DIMENSIONS

INTERIOR CLEAR SPACE

Clear Width	22' minimum
Clear Depth	22' minimum

If required, stairs should be located so that vehicles do not interfere with ingress/egress from the home. When possible, stairs should be recessed into the foot print of the home.

GARAGE DOORS

Height	7' minimum 8' recommended
Width	9' minimum 10' recommended
Single Door	10' recommended
Double Door	18' minimum

2 | ARCHITECTURAL GUIDELINES

This chapter provides design guidelines related to the architectural design of buildings, specifically the elements that define the interface between private and public realms. These guidelines are intended to create a rich neighborhood character for The Legacy at Colonial Country Club.

- 2.1 Architectural Character
- 2.2 Exterior Materials & Colors
- 2.3 Architectural Details

ARCHITECTURAL CHARACTER



Lack of variety of architectural styles and forms is not appropriate.



This example appears more like two homes joined by an over scaled entry element, lacks a sense of order, is overly complex, and is inappropriate.



The complex roof elements, the steep pitched roof at cornice returns, the over scaled bay roof, the ill-proportioned dormer and the front entry details are all inappropriate both individually and collectively.

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VARIETY

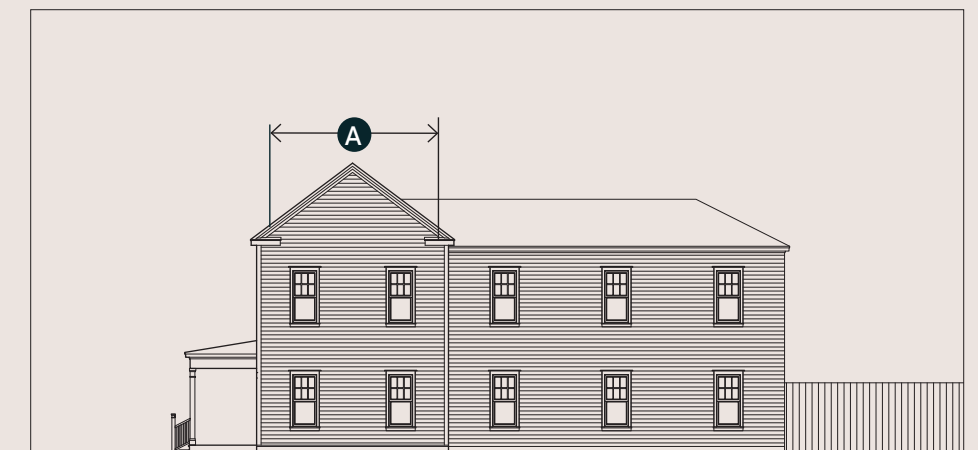
- A variety of individual architectural designs with their respective appropriate details, materials and colors are encouraged to create a unique, compelling overall streetscape character at the community scale.

SCALE, MASSING & FORM

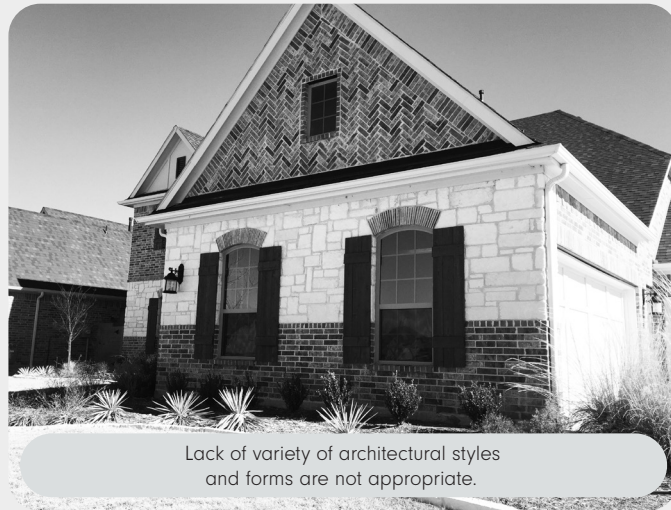
- House designs shall generally be composed of a primary massing with secondary massings or wings that maintain a similar character.
- The primary massing shall generally be the central dominant mass of the structure with the highest roof line.
- Overly complex or contrived forms, offsets, projections and the resulting multiple roof lines/forms shall not be used.
- The scale and proportion of the overall house, entries, and fenestration shall be appropriate to the architectural style.
- All trim boards such as corners, bases, drips, frieze, soffits, fascias, cornices and similar architectural trim elements shall be sized and detailed appropriate to the architectural style.
- Details and ornamentation shall be appropriate to a human-scaled architectural character.

ROOF MASSING & PITCH

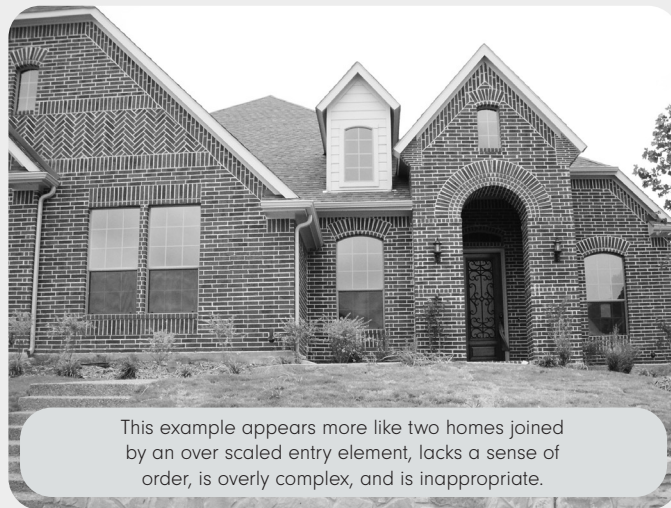
- The roof pitch, roof form and architectural embellishments such as cross-gables, dormers, belvederes, chimneys, cupolas and other similar elements shall be appropriate to the architectural style of the house.
- The roof pitch of the forward-most massing shall comply with the architectural style and be no less than 4:12, unless approved in advance by the ARC. **A**
- The roof pitch of the forward-most massing shall comply with the architectural style.



EXTERIOR MATERIALS



Lack of variety of architectural styles and forms are not appropriate.



This example appears more like two homes joined by an over scaled entry element, lacks a sense of order, is overly complex, and is inappropriate.



The complex roof elements, the steep pitched roof at cornice returns, the over scaled bay roof, the ill-proportioned dormer and the front entry details are all inappropriate both individually and collectively.

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GENERAL GUIDELINES

- All exterior finish materials shall be appropriate to the style.
- All elevations of the main body of the house shall maintain a consistent palette of materials, finishes, and colors.
- The materials and architectural detailing on the front elevation shall wrap the corner and extend a minimum of 15' along each side elevation.
- Changes in materials shall occur at inside corners or at horizontal transition lines that relate to window sills or wall plates.
- When multiple materials are used, heavier materials shall always be placed below the lighter.

BUILDING FACADES

- Masonry and other materials shall be appropriate to the style.
- High-quality exterior finish materials, such as brick or painted brick, stone, hard coat stucco, man-made stone, and cementitious or composite siding and trim is encouraged. Other materials may be allowed by the ARC.
- All visible flashing shall be copper, painted galvanized, or painted aluminum and shall be kept to the minimum height required by good practice and counter flashed by the wall material where feasible.
- Brick shall be standard size and have a limited range within any color blend. The use of "queen" and other non-modular brick sizes is strongly discouraged.
- Lap siding shall have an exposure appropriate to the style.
- Cementitious siding material is encouraged for long term maintenance benefits.
- Vinyl or aluminum siding, E.I.F.S., stucco board, or "softcoat stucco" shall not be used.
- Retractable patio covers shall not be used on facades facing streets or common open spaces.

ROOFS & EAVES

- Residential roofs shall be clad as appropriate to the style in composite shingles, standing seam metal, slate, or dimensional asphalt shingles. Synthetic materials similar or superior in appearance and durability may be allowed by the ARC.
- Low-pitched porch and bay roofs are preferred to be standing seam, pre-finished metal or copper.
- Heating, air conditioning, and plumbing vents shall not penetrate the roof on the front or street side of the house.

ACCESSORY STRUCTURES

- Accessory structures shall complement the main home design and require review and approval by the ARC.
- Accessory structures must be of similar architecture and construction of materials as the main home.

EXTERIOR COLORS



COLORS & TONES

- Paint, stucco, and brick colors must be submitted and approved by the ARC.
- All home colors shall be appropriate to the home style.
- Bright and primary colors are typically not approved by the ARC and shall be avoided.
- When appropriate to the design, the brick may be painted.
- MEP stacks, vents, and other wall/roof penetrations shall have a matte baked-on finish, and the color shall match the abutting wall/roof material.
- All non-copper flashing shall be painted to blend into surrounding tones unless specifically approved by ARC.
- Accent colors usage shall be limited to doors, windows, shutters, projecting bays, and awnings appropriate to the home style.
- When light-tone neutral colors are used for the primary home color, accent colors shall be limited to medium-tone or dark-tone neutral colors.
- When medium-tone neutral colors are used for the primary home color, accent colors shall be limited to light-tone neutral colors.
- When dark-tone neutral colors are used for the primary home color, accent colors shall be limited to light-tone neutral colors.

SAMPLE EXTERIOR COLOR PALETTES

ARCHITECTURAL DETAILS



Over scaled transom is too tall in proportion to the primary entrance door.



The board and batten front door is out of character with the Farmhouse style elevation.

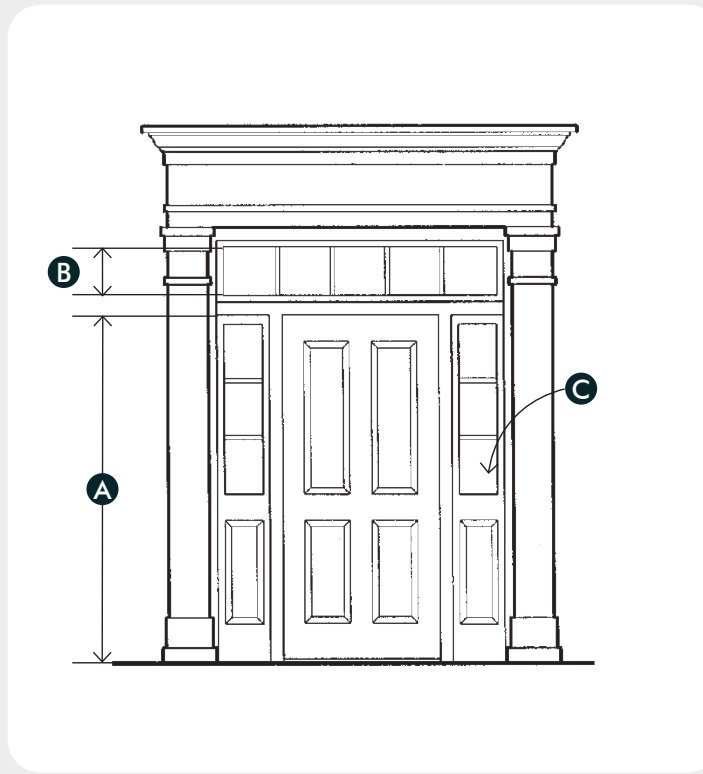


Avoid roof lines and gutters that protrude into the entry porch opening.

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ENTRIES & DOORS

TYPE, STYLE, & SIZE

- The primary entrance (front door) to a home shall embody the character, scale, proportion and detail of the overall house and its appropriate architectural style.
- The entry shall be easily identifiable from the street.
- When a porch is not provided, the entry shall provide at least minimal protection from the elements.
- Over-scaled, out of proportion, overbearing or deeply recessed ("dark") entries shall not be used.
- Storm, screen, or security doors must be appropriate to the architectural style and approved by the ARC.
- Taller doors (8'-0" in height) are generally encouraged. **A**

MATERIALS

- Doors shall be wood or have a wood-like appearance.
- Tinted or reflective glass shall not be used.

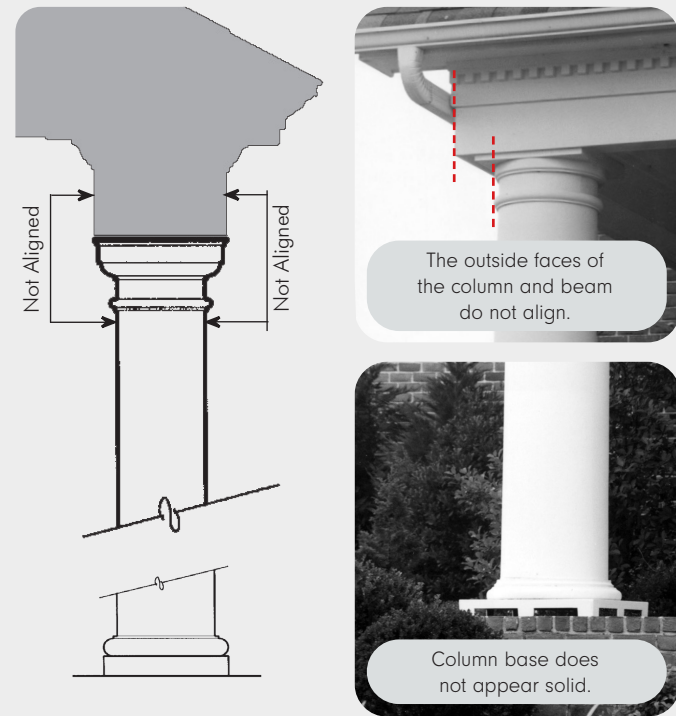
HEADER, JAMB, & SILL

- Door casings, trim, and mouldings shall be appropriately designed and selected to be compatible with the building's overall design, style, and character.
- Openings for doors in brick or stone clad walls shall use a brick mould at the head and jamb.
- Door surround trim on siding clad walls shall project a minimum of 1/4" from the face of the adjacent siding.

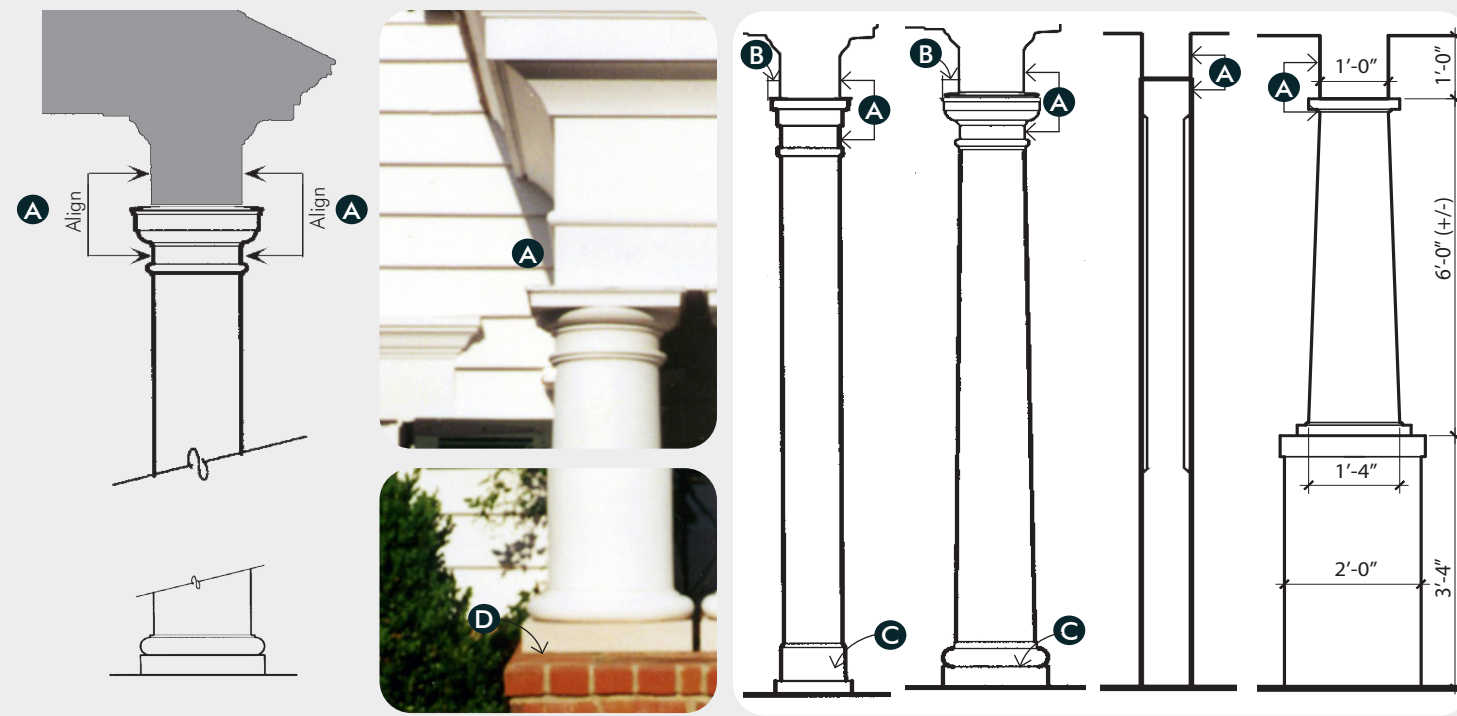
TRANSOMS & SIDELIGHTS

- If doors shorter than 8'-0" are used, a transom shall be used.
- Transoms shall have a 12" min. glass height. **B**
- Transoms, sidelights, and doors shall read as a unit with continuous casing trim.
- Mullions between doors, transoms, and sidelights shall use trim painted to match the brick mould or trim surround.
- Masonry shall not be used on mullion between doors, transoms, and sidelights.
- Over-scaled or separate unit transoms shall not be used.
- Sidelights shall have a design similar to the entrance door. **C**

ARCHITECTURAL DETAILS



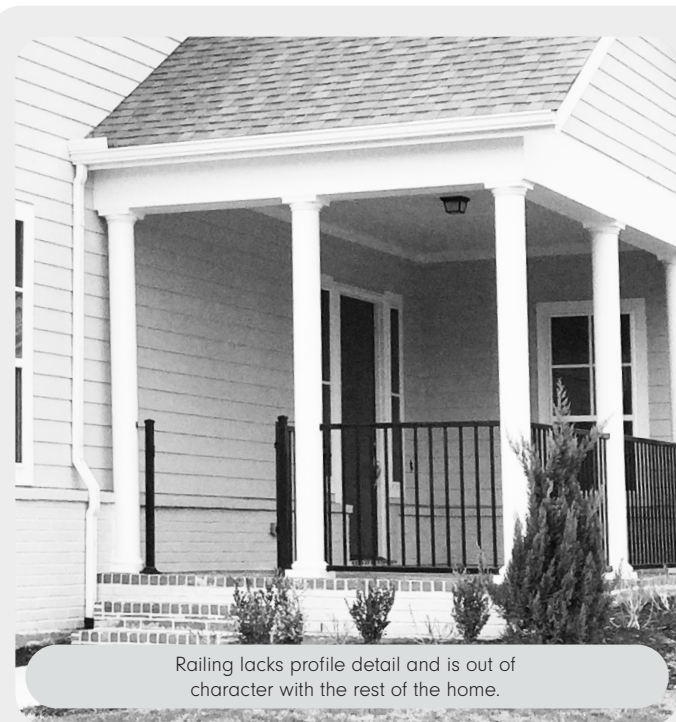
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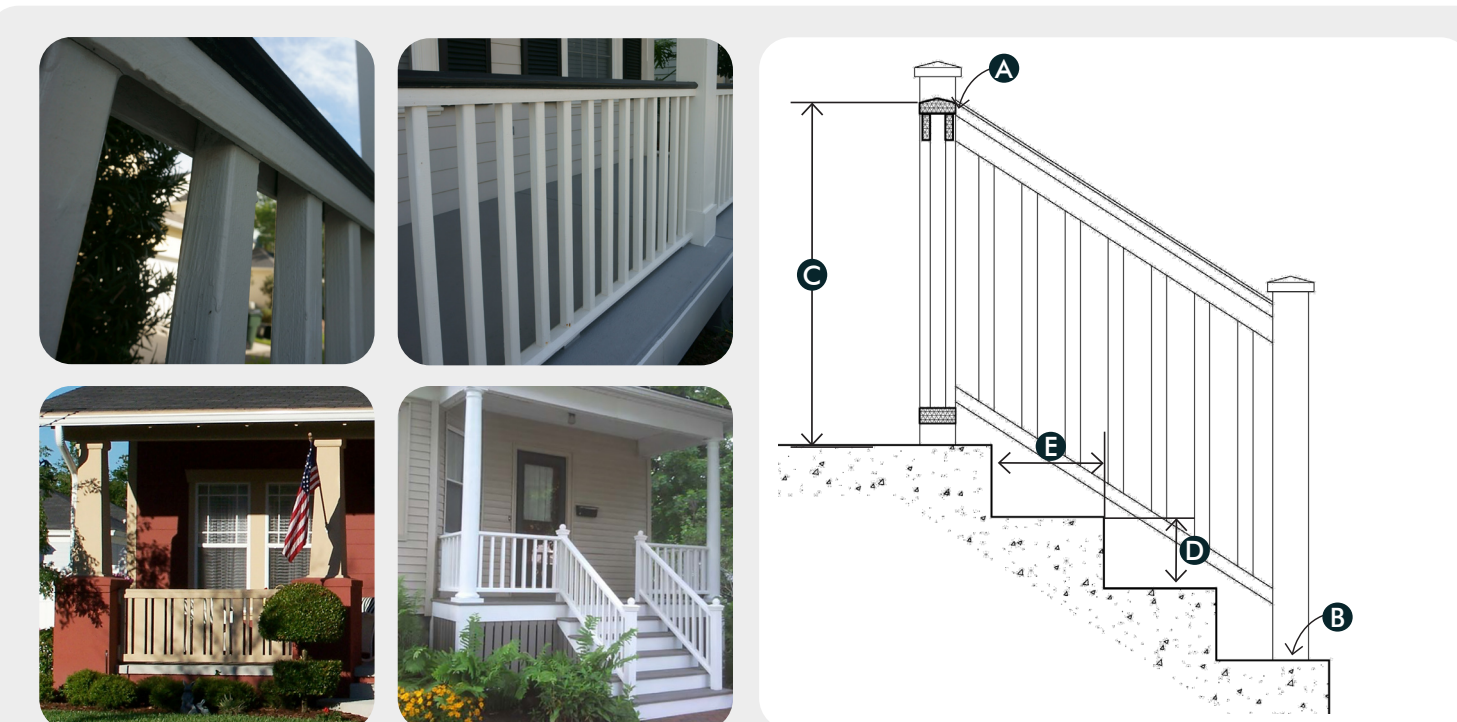
APPROPRIATE

COLUMNS

- Whether job-built or manufactured, columns shall adhere to 'classic' time-tested scale and proportions appropriate for the style of the building.
- Columns shall be of wood, masonry, or a composite material and properly flashed.
- The face of the column shaft shall align with the face of the frieze board or beam above. **A**
- The column cap shall project beyond the face of the frieze board or beam. **B**
- The column base is typically larger than the cap and shall be, or 'appear' as, solid stone, brick, or wood. **C**
- Visible aluminum vent blocks are inappropriate and shall not be used.
- The foundation or porch edge shall be extended beyond the edge of the frieze or beam above to allow proper column alignment. **D**



INAPPROPRIATE



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EXTERIOR RAILINGS & STAIRS

- Railings and railing materials shall be appropriate to the style of the house and porch.
- All stair railings shall be terminated on a vertical post or column. **A**
- Newel posts shall sit on the bottom stair tread. **B**
- Railings shall return to the adjacent column or wall.
- Porch railings, stair railings, and rail returns shall all use matching colors and materials.
- Railings shall be between 34" and 38" above the stair nosing or porch floor surface. **C**
- Riser dimensions shall be 4" min. and 7" max. **D**
- Tread dimensions shall be 11" min. and 17" max. **E**
- Steps shall be at least 4' in width. If the space between porch columns is less than 6', the porch steps shall be the full width of the bay.

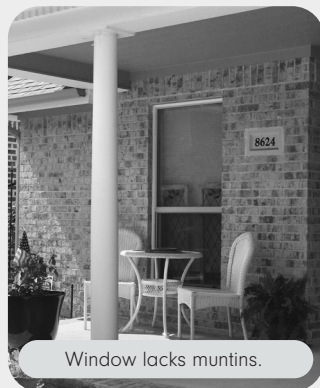
ARCHITECTURAL DETAILS



Brick mullion between ganged windows is inappropriate.



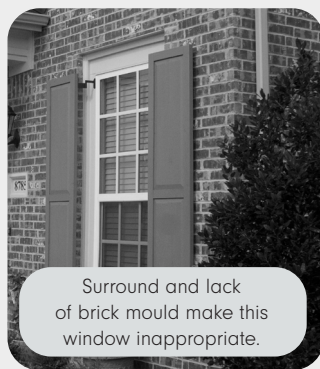
Header and sill are too wide.



Window lacks muntins.

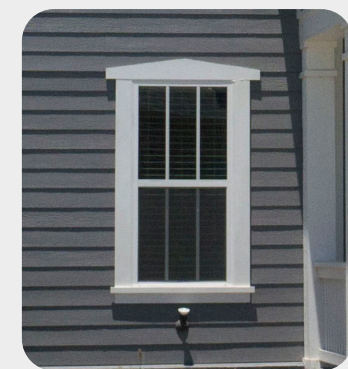


Horizontally-proportioned panes must be appropriate to style.



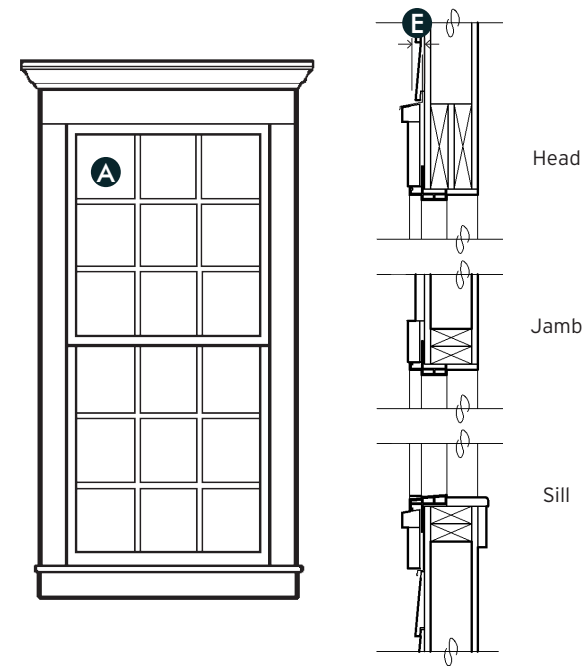
Surround and lack of brick mould make this window inappropriate.

INAPPROPRIATE

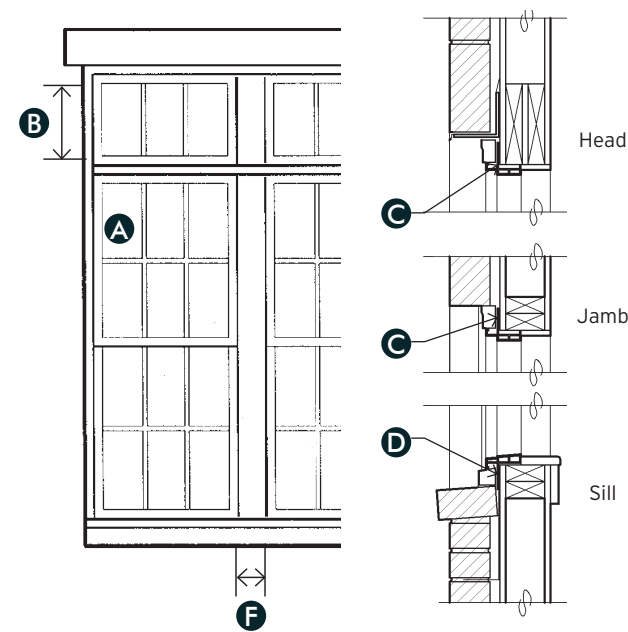


APPROPRIATE

SIDING CLAD DETAIL



BRICK OR STONE CLAD DETAIL



WINDOWS

TYPE, STYLE, & SIZE

- Window types, styles, sizes, and pane configurations shall be appropriately designed and selected to be compatible with the building's overall design, style, and character.
- Window types, styles, and sizes shall generally be consistent along street and common space frontages.
- Windows that operate as sliders shall not be used along street or common space frontages.
- Tab mounted windows flush or nearly flush to the exterior face of the wall shall not be used.
- Window proportions shall be appropriate to the architectural style.
- Window muntins, if used, shall be true or simulated divided lites appropriate to the architectural style.
- Window panes shall be square or vertically proportioned, unless otherwise appropriate to the style. **A**
- The minimum glass height of a transom shall be 12". If above a divided lite window, the transom height shall be similar to the height of a lite below. **B**
- Head heights shall be in proper proportion to the scale and mass of the house.
- First floor windows shall have an 8'-0" (min.) head height and shall align with the front door head height or front door transom head height if a door less than 8'-0" is used.

MATERIALS

- Tinted or reflective glass shall not be used.

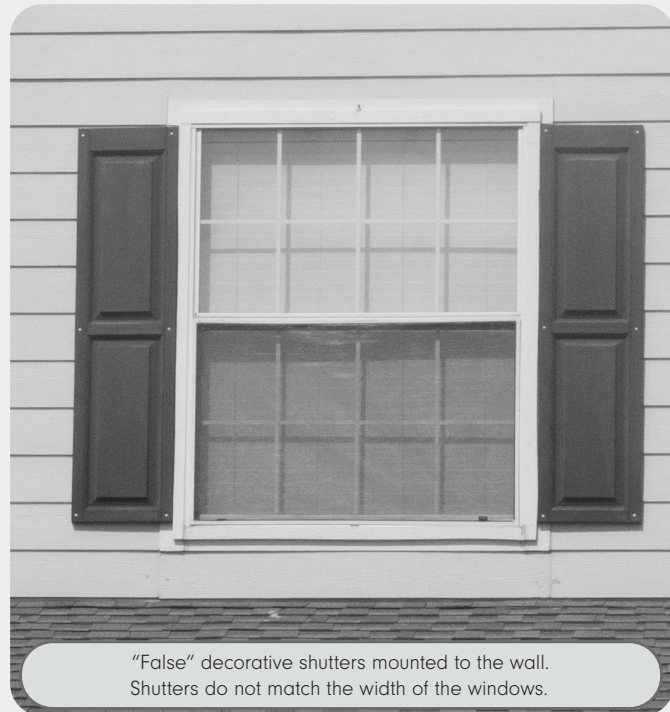
HEADER, JAMB, & SILL

- Window casings, trim, and mouldings shall be appropriately designed and selected to be compatible with the building's overall design, style, and character.
- Openings for windows in brick or stone clad walls shall use a brick mould at the head and jamb, but not the sill. **C**
- Openings for windows in brick or stone clad walls shall use a projecting sill nose placed between the brick mould jamba and the sill. **D**
- Window surround trim on siding clad walls shall project a minimum of 1/4" from the face of the adjacent siding. **E**

GANGED WINDOWS

- Multiple windows shall have a mullion between the windows.
- A continuous header or casing, as appropriate to the style, shall be used for the set of ganged windows. **F**
- Mullions between ganged windows shall not be finished with brick.

ARCHITECTURAL DETAILS

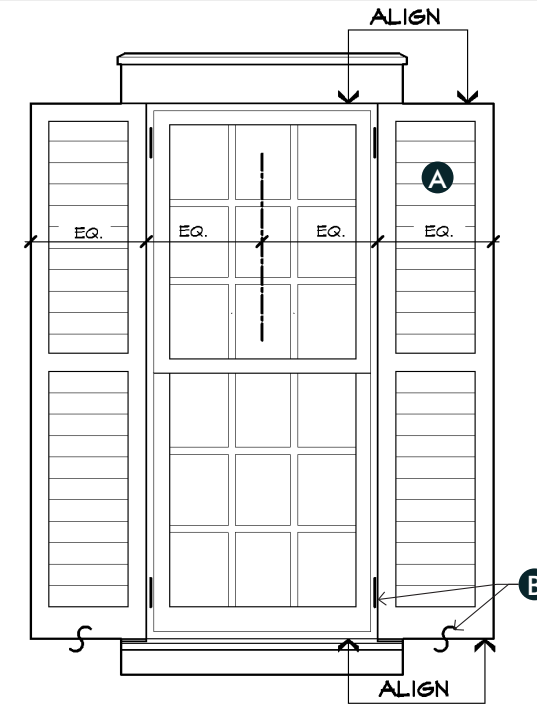


"False" decorative shutters mounted to the wall. Shutters do not match the width of the windows.

INAPPROPRIATE



APPROPRIATE



SHUTTERS

- When shutters are used they shall be appropriate to the architectural design and style of the building.
- Shutters shall be sized to match the actual window sizes. "False" decorative shutters mounted directly to the wall and shutters that do not approximate the height and half the width of the window opening shall not be used. **A**
- Shutters are recommended to be mounted on hinges and with hold backs (shutter dogs) located at bottom rail. **B**
- Shutters for double or grouped windows shall not be used unless they are sized to match the total width of the opening.



Dormer overhang is too deep.



Small glass area, frame is too wide.



Too much wall area.

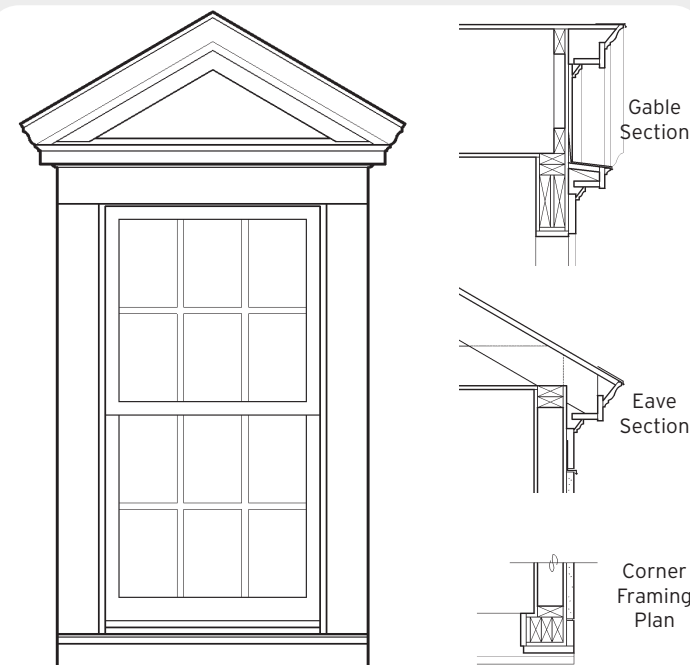


Overhang and rakes are too deep.

INAPPROPRIATE



APPROPRIATE



DORMERS

- Dormers shall generally be composed as secondary architectural elements used in a functional or nonfunctional fashion to complement the primary form of the main structure.
- The mass and composition shall be composed in an understandable and straightforward manner and shall maintain the character of the design.
- Typically, dormer roofs shall be hipped, gabled, shed or arched depending on the characteristics of the main structure.
- In general, dormers shall be vertically scaled and proportioned and shall tightly frame the window.
- Dormer window size and type shall be appropriate to the architectural style.
- Dormer overhangs and rakes shall be tight to the main body of the dormer.

ARCHITECTURAL DETAILS



Roof pitch of cornice returns is too steep.

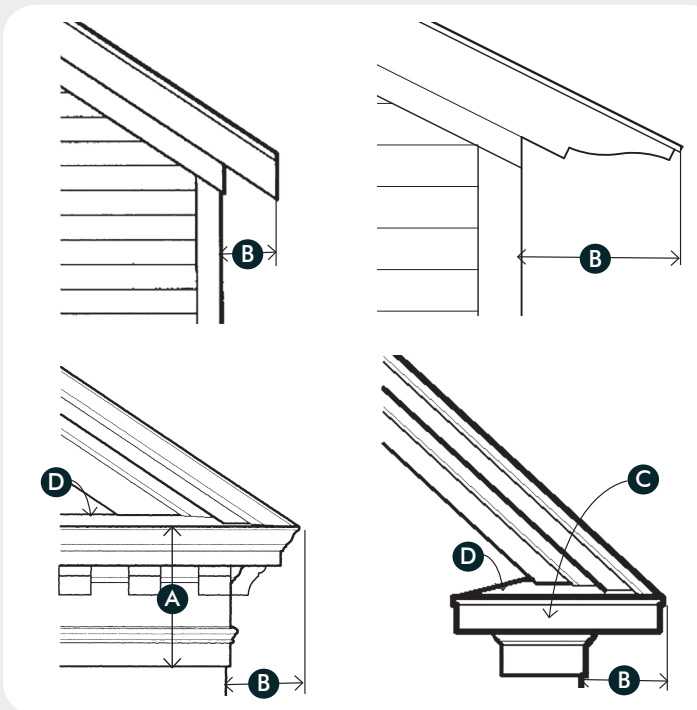


Deep overhangs shall not terminate with an oversized "box" cornice detail or large cornice return.

INAPPROPRIATE

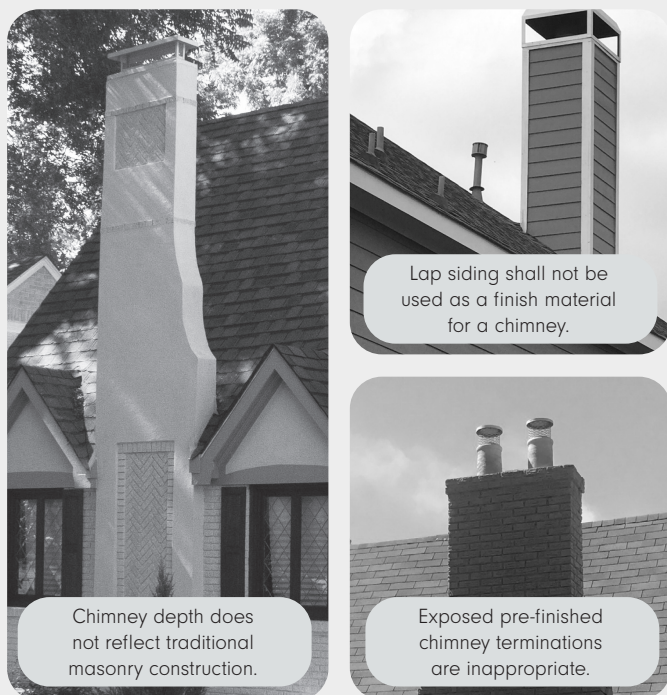


APPROPRIATE



CORNICES, RAKES, & EAVES

- Cornices, rakes, and eaves shall be appropriate to the architectural design and style of the building.
- A cornice shall be proportioned to define the top of the building wall, but not overpower the facade elements beneath. **A**
- Cornices and eaves shall project out horizontally from the vertical wall plane to create depth and shadow on the facade. **B**
- Where appropriate to the style, gable ends shall have cornice returns. **C**
- Roofing or flashing material above cornices or cornice returns shall not be visible at ground level. **D**
- Traditionally scaled and detailed cornices shall follow time-tested scale and proportions. (NOTE: On many historically based traditional designs, the rake detail would incorporate a crown or bed mould trim at the roof edge in lieu of typical 1x2 board.)



Lap siding shall not be used as a finish material for a chimney.

Chimney depth does not reflect traditional masonry construction.

Exposed pre-finished chimney terminations are inappropriate.

INAPPROPRIATE

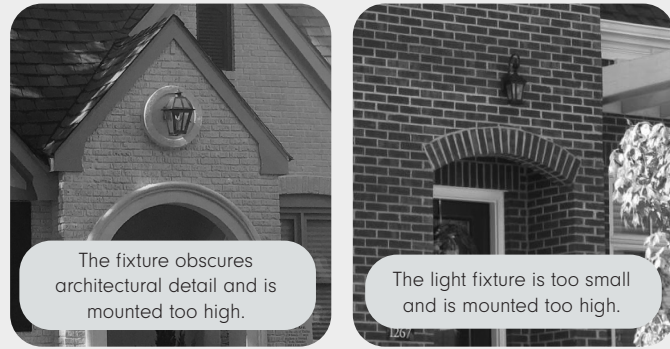


APPROPRIATE

CHIMNEYS

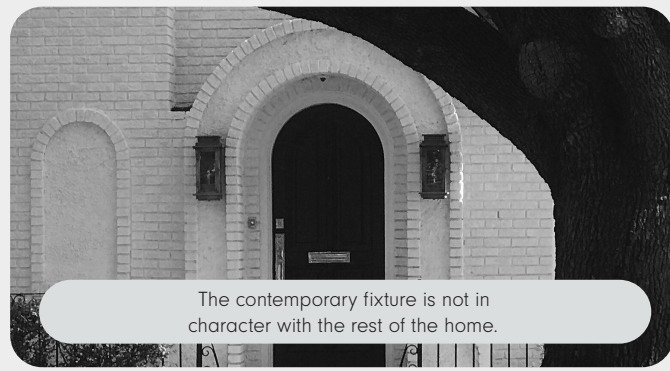
- Chimneys and fireplace flue enclosures, if expressed on exterior with a foundation, shall be constructed to "appear" as "real" masonry chimneys. The width and depth shall be defined and the height shall meet or exceed the minimum per code if it were a masonry fireplace/chimney.
- Prefabricated spark arrestors shall be screened with an approved appropriate decorative chimney cap.
- Direct vent exhausts shall not be placed along the primary facade.
- Metal chimney pots shall be used to cover the typical pre-fabricated flue terminations.
- Appropriate chimney finishes are: brick, stone, hard coat stucco, cementitious panel, or, if extending solely from a roof, stucco board with maximum 1x2 corner trim and appropriately detailed termination.
- Lap siding shall not be used as an exterior finish on a chimney.
- If stucco board is used, the stucco board and corner boards shall be painted the same color.
- Direct vent exhausts shall be the same color as the roof or wall to reduce their visibility on the exterior facades.

ARCHITECTURAL DETAILS



The fixture obscures architectural detail and is mounted too high.

The light fixture is too small and is mounted too high.



The contemporary fixture is not in character with the rest of the home.

INAPPROPRIATE



APPROPRIATE

EXTERIOR LIGHTING

- Any exposed fixture shall be appropriate in style, material and scale for the home.
- Front or side entrance light fixtures may be ceiling-mounted, ceiling-recessed, or wall-mounted fixtures.
- Fixtures located to the side of front loaded garages and garage doors shall be a wall-mounted down-light type.
- Soffit/cornice down lighting shall not be used.
- Floodlights and spot lights shall not be used on any elevation facing the street or common space.
- If a ceiling fixture is not provided on a porch, the porch shall be pre-wired for a ceiling fan.
- A minimum of two (2) exterior decorative light fixtures, approved by the ARC, shall be provided along the porch and/or front yard of each home to allow for uniform ambient lighting along the sidewalks at night for security purposes.
- Sodium, mercury vapor, bare HID yard lights, and commercial industrial-type fixtures shall not be used.
- Glare shields and cutoff devices shall be used to minimize throw onto adjacent properties or any public way.
- Light sources shall be shielded or arranged to minimize unnecessary glare for pedestrians and cars.
- Color temperature shall not exceed 3,000K.



Address should not be vertical and numbers are too large.

Address does not contrast background.

INAPPROPRIATE



APPROPRIATE

ADDRESSING

- These residential address provisions are aesthetic in nature and shall not conflict with, or supersede, any U.S. Postal or Emergency Services requirements.
- The location, type, style, and material of street numbers must be noted in the design documents.
- Stone address blocks may be used on brick or masonry homes.
- Stacked address numbers are not appropriate.
- Address numbers shall not exceed 6" in height.
- Address numbers shall be white, black, silver, or aged-bronze and shall be in contrast to the background on which located.

REVISION INDEX

EDITION	DATE	PAGE	REVISION DESCRIPTION
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